



Invitation to Bid - #2026-01
Fire Station Generator – Addendum #1
Issued September 11, 2026

1. The previously omitted Site Plans are attached hereto.
2. The fuel source contained in the Specifications shall be changed from Natural Gas to Diesel.
In evaluating the Site Plan, the City has determined that a Diesel fuel solution makes better financial and logistical sense.
3. Relevant dates/deadlines are adjusted as follows:
 - a. **Questions:** All questions and requests for clarification/interpretation are due by Wednesday, September 16, 2026 at 4 pm ET (3 pm CT).
 - b. **Addenda Issued:** City will post all responsive addenda no later than Friday, September 18, 2026 at 4 pm ET (3 pm CT).
 - c. **Bids Due/Opened:** Sealed bids must be received by Wednesday, September 23, 2026 at 4 pm ET (3 pm CT).

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\\saham\user\00001\TAYLOR MILL FIREHOUSE\0001\Site Plan - TITLE NOTES.dwg

TAYLOR MILL FIREHOUSE SITE PLAN

TAYLOR MILL, KENTON COUNTY, KENTUCKY

APRIL 2024

BID SET

SITE DATA

Site Location: 5219 & 5223 Taylor Mill Rd
Total Acreage of Site: 2.16 Ac.

Property Owner/Developer:
City of Taylor Mill
5225 Taylor Mill Rd,
Taylor Mill, KY 41015

Parcel ID: 057-40-00-160.00 & 057-40-00-159.00
Deed Reference: Book I-2987, Page 242 & Book I-2551, Page 12
Current Use: Vacant
Proposed Use: Institutional
Proposed Building:
Height = 32'
Sq. Footage = 11,877
Disturbed Area = 1.35 Acres
Impervious Area = 0.85 Acres
Soil Types: FcD, NIC, NIB

SITE ZONING DATA

Current Zone: INST

Minimum Lot Area = 0.5 ac
Minimum Lot Width = 50 ft
Maximum Floor Area Ratio (FAR) = 1
Maximum Height = 50 ft
Minimum Front Yard Depth = 15 ft
Minimum Side Yard Depth = 10 ft
Minimum Rear Yard Depth = 10 ft

PARKING SUMMARY

Existing Use - Institutional
Proposed Use - Institutional

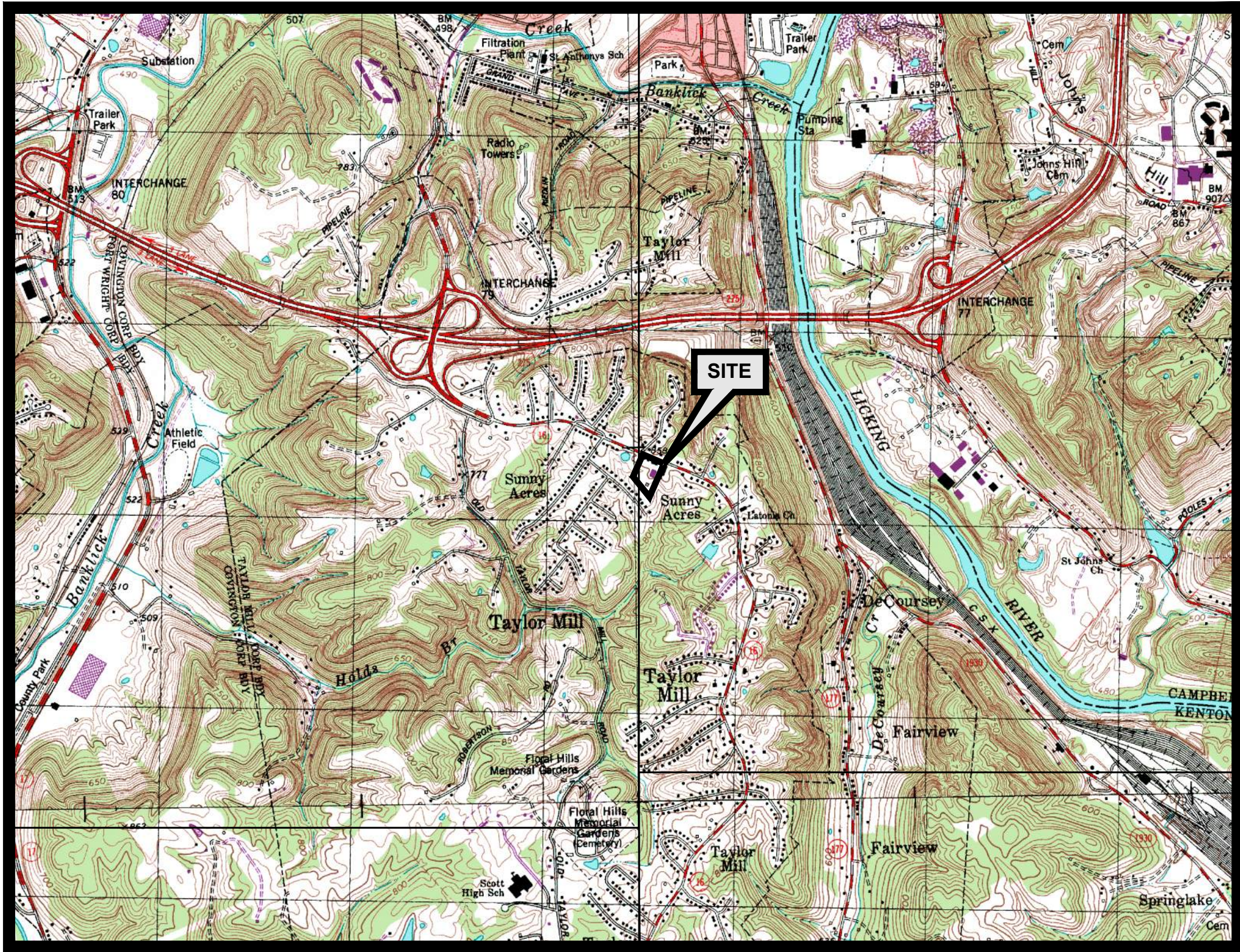
Existing parking
23 spaces shared between the existing municipal building and fire station

Proposed Parking
Employees on largest shift = 11
Required Handicap Parking = 1 spaces (1 van accessible)

Regular Parking = 8 spaces
Handicap Parking = 1 spaces
Total Parking Added = 9 spaces

SD1 LAND DISTURBANCE NOTES

- JASON BURLAGE OF SANITATION DISTRICT NO. 1 SHALL BE CONTACTED AT 859-578-6892 AT LEAST 72 HOURS PRIOR TO BEGINNING ANY LAND DISTURBING ACTIVITIES.
- SITE STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY (FOR 21 DAYS OR MORE) CEASED.
- SITE AND BMP'S WILL BE CHECKED AT LEAST ONCE EVERY SEVEN (7) DAYS AND WITHIN 24 HOURS AFTER A 0.5" OR GREATER RAIN EVENT.
- CONSTRUCTION BMP'S SHALL BE REVISED OR ADDED IF DEEMED NECESSARY.



SCALE : N.T.S.
SITE LATITUDE: 39° 00' 57"
SITE LONGITUDE: 84° 29' 57"



PROJECT CONTROL

Vertical Control was established by real time kinematic GPS using KYTC Virtual Reference Station via cell phone.
HORIZONTAL CONTROL = NAD 83 (NSRS 2007) KY, S.P.C.S. NORTH ZONE
U.S. FEET VERTICAL CONTROL = NAVD 88 - U.S. FEET

SITE UTILITIES

- SANITARY SEWER: SANITATION DISTRICT NO. 1
- STORM SEWER: PRIVATE
- WATER: NORTHERN KENTUCKY WATER DISTRICT
- TELEPHONE: ALTA FIBER
- ELECTRIC: DUKE ENERGY
- CABLE TELEVISION: SPECTRUM



Location of utilities and structures, both surface and sub-surface, are shown on the plans from data available at time of bidding, and are not necessarily complete or correct. During construction the contractor shall use diligence in protecting from damaging all existing utilities and structures whether shown on the plan or not. If damage is caused, the contractor shall be responsible for the repair or restoration of same to the satisfaction of the engineer or appropriate authority.

PRIOR TO ANY EXCAVATION FOR UNDERGROUND UTILITIES, CONTRACTOR MUST EXPOSE AND VERIFY LOCATIONS BOTH HORIZONTAL AND VERTICALLY OF ALL EXISTING UTILITIES. ANY CONFLICTS SHALL BE REPORTED IMMEDIATELY, TO THE ENGINEER AND THE APPROPRIATE AUTHORITIES.

Sheet List Table	
Sheet Number	Sheet Title
C000	CIVIL TITLE SHEET
C001	GENERAL NOTES
C100	EXISTING CONDITIONS & DEMOLITION PLAN
C200	LAYOUT PLAN
C300	GRADING PLAN
C400	EROSION CONTROL PLAN
C500	UTILITY PLAN
C501	PROFILES
C601	LAYOUT DETAILS
C602	PAVEMENT DETAILS
C603	EROSION CONTROL DETAILS
C604	STORM DETAILS
C605	WATER & SANITARY DETAILS
C606	DETENTION DETAILS
C700	AUTOTURN
L100	LANDSCAPE PLAN

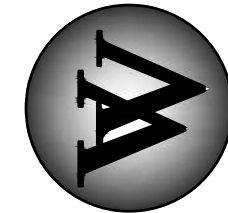
TAYLOR MILL FIREHOUSE
SITE PLAN - BID SET
TAYLOR MILL, KENTON COUNTY, KY

CIVIL TITLE SHEET

Project No: 04.11.2024
Checked: JMV
Ref: CCS

Sheet:
C000

VIOX & VIOX
Civil Engineers, Surveyors, and Landscape Architects
406 Erlanger Road • Erlanger, Kentucky 41018
602 Lila Avenue • Milford, Ohio 45150
Ph Erlanger (859) 727-3293 • Ph Milford (513) 576-1000
www.vioxinc.com



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Item	Revision	Date	By	Chk.
1	KTYC Revision	5/3/24	CCS	JMV

1. It shall be the full and complete responsibility of the contractor to meet and comply with safety requirements and regulations as established by O.S.H.A. or any other regulatory body. The owner and engineer will not perform any safety compliance inspections as the contractor has accepted full and complete responsibility for performing such inspections for compliance to the regulations. The contractor shall indemnify and hold harmless the owner and the engineer from any loss, expense, fine, or suit, including attorney's fees, arising out of any safety violation suits brought by injured persons and/or fines levied by O.S.H.A or any other regulatory body, as result of the contractor's work.
2. If CSM fill is used it must not exceed 28 days strength in specifications (80 psi). CSM fill required in all utility trenches under existing paved areas. This expense to be included in appropriate bid item.
3. Contractor shall raise, lower, shift, and etc. all existing or proposed manhole covers' grates, valve boxes and etc. to comply with new construction as shown or not shown on these plans at no additional cost to the owner.
4. Contractor shall implement traffic control measures in accordance with applicable state & local standards, procedures and regulations while working within roadway easements & r/w or when work affects traffic flow or safety.
5. All streets and roadways adjacent to project shall be cleaned of dirt and debris at end of each day.
6. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of services.
7. All necessary encroachment permits will be obtained prior to construction.
8. All asphalt surface on existing roadways damaged during construction shall be sawcut, removed and replaced. The number of sawcuts shall be minimized in order to make one continuous patch as directed by the engineer and or local officials.
9. All pavement, sidewalk, curb, gutter, etc. to be reinstalled shall match existing width and thickness.
10. Any site signage will be by separate permit.

1. All potential erosion shall be controlled in such a manner so as to prevent any displacement of silt to adjacent property owners or right-of-way. This control shall be implemented through proper installation of silt fence, or straw bales during the construction duration and maintained until proper ground cover has been established.
2. Silt fences shall be repaired to their original condition if damaged. Sediment accumulation must be removed when sediment height reaches the height of the silt fence.
3. Minimize off-site sediment tracking of vehicles by the use of granular material at all construction entrances, along with regularly scheduled sweeping/good housekeeping. Stabilized construction entrances to be properly maintained and in good working order at all times.
4. Dust controls using approved materials must be performed at all times. The use of motor oils and other petroleum based or toxic liquids for dust suppression is prohibited.
5. All materials spilled, dropped, washed, or tracked onto the roadways or into the storm sewer must be removed immediately.

1. Before construction call Kentucky Underground Protection, Inc. two (2) working days before you dig, 1-800-752-6007.
2. All single spot elevations are to top of paving or sidewalk. All double spot elevations are to top & bottom of curb.
3. Prior to beginning construction, contractor shall be responsible for verifying and field locating all utilities within the project limits so that construction will not damage or interfere with existing lines. If any utility lines are damaged, it is the contractor's responsibility to repair and/or replace the utility lines at the contractor's expense. Finished replacement or repair shall meet the approval of the specific utility owner.
4. All fill areas shall be compacted to a minimum of 95% of the maximum dry density per standard proctor analysis ASTM D 698 or to the project specifications, whichever is greater.
5. Existing elevations and contours on this plan are provided from GIS and site survey. Contractor shall coordinate horizontal and vertical control with engineer or surveyor prior to commencement of construction.
6. Improper grading/finishing of all excavation and fill placement within the project limits or adjacent right-of-way that result in drainage problems shall be removed and reinstalled to implement positive drainage by the contractor at no additional cost to the owner.
7. Any information as provided shall be used to confirm existing topographic conditions prior to the commencement or any construction activities. Any conflict and/or discrepancies encountered between the existing topography shown and actual site conditions shall be reported to the engineer immediately.
8. The contractor shall not scale from these plans for field survey location.
9. Special care shall be taken to protect all trees, shrubs, etc. within existing landscape islands to remain. Contractor shall coordinate all tree removal with owner prior to construction to delineate which tree and landscaping is to be left in-place.
10. The developer is responsible for surface and sub-surface drainage related to his/her lands, and shall provide for such drainage in a way as to properly receive waters from their land, without obstructing existing drainage patterns or increase runoff onto adjacent properties.
11. All areas unsuitable for material in place to receive fill must be over-excavated to a stable sub-base, and backfilled with an approved engineered backfill. All backfill must meet the compaction requirements of the specifications or as shown on the drawing, whichever is the more stringent requirement.
12. All disturbed areas not to receive pavement shall receive 6" of topsoil.
13. Contractor to follow all geotechnical recommendations.

1. All connections of storm or drainage pipes to storm structures shall be sealed with non-shrink grout or per drain basin manufacturers recommendations.
2. All storm sewer pipe shall be as noted on the plan. All HDPE pipe shall be "Advance Drainage Systems", ADS-N-12 HDPE pipe, or approved equal. All approved equals shall be submitted to the engineers and approved, in writing, prior to bidding and any work being done on site.
3. All storm sewer that is under future pavement (concrete and gravel) shall be backfilled in flowable fill.
4. The plan does not indicate individual fittings required for this installation. Contractor responsible for obtaining and installing of all fittings along with the pipe and structures in the schedule as part of the project. This includes, but is not limited to "1" fittings, "1" fittings, double and triple manifolds, reducers, bands, ties, etc. All fittings shall be approved and supplied by the pipe manufacturer.
5. All storm sewer pipes shall have a minimum cover of 12" over the top of pipe. contractor shall provide minimum cover in all cases. If discrepancies exist in the graded plan or if unseen site conditions exist that will not allow this cover as designed the contractor shall notify the engineer immediately. The contractor shall be responsible for site reconnaissance and this determination prior to bidding the work.
6. Any damage and repair to existing storm piping, and utilities shall become the responsibility of the contractor.
7. Contractor shall coordinate exact location of utility lines and tie-in points with local utility companies and install appropriate conduits, and foundations. For service to utility connection points as identified hereon or directed by the utility provider.
8. Contractor shall provide and install appropriate PVC conduit under all proposed pavement areas for telephone and digital/TV communications.
9. The contractor is responsible for all utility tap-on fees and cost of utility extensions to the site.
10. Contractor shall verify location of utilities entry to the building with architectural and mechanical/electrical plans.
11. The contractor shall fully restore all areas (asphalt, concrete, curbs, sidewalks, landscaping, etc.) disturbed during construction at no additional cost to the owner.

1. All retaining walls should be designed by a design professional familiar with the desired wall and complete with detailed building instructions.
2. Landscape drainage channels should be constructed as to not permit runoff to adjacent existing buildings, sanitary sewer systems, etc., or to cause flooding of neighbor's property.
3. All landscape storm water inlets shall be located with a back-up safety storm water surface route (in the event of clogging) that will not cause flooding of structures or neighbor's property.
4. Maintenance of landscaped areas should include inspections of storm water drainage routes. Removal of debris blocking drainage ways, and/or installation of catch basins where necessary to maintain proper drainage. Catch basins should be cleared of debris to prevent clogging. Review of pipe flow should occur on a regular basis depending upon local conditions.

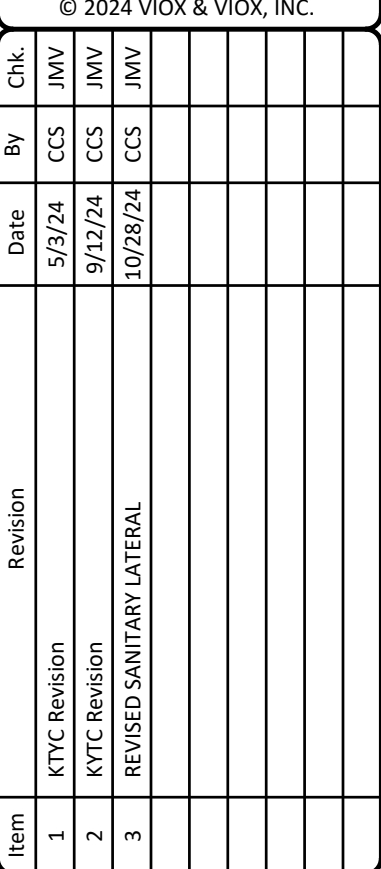
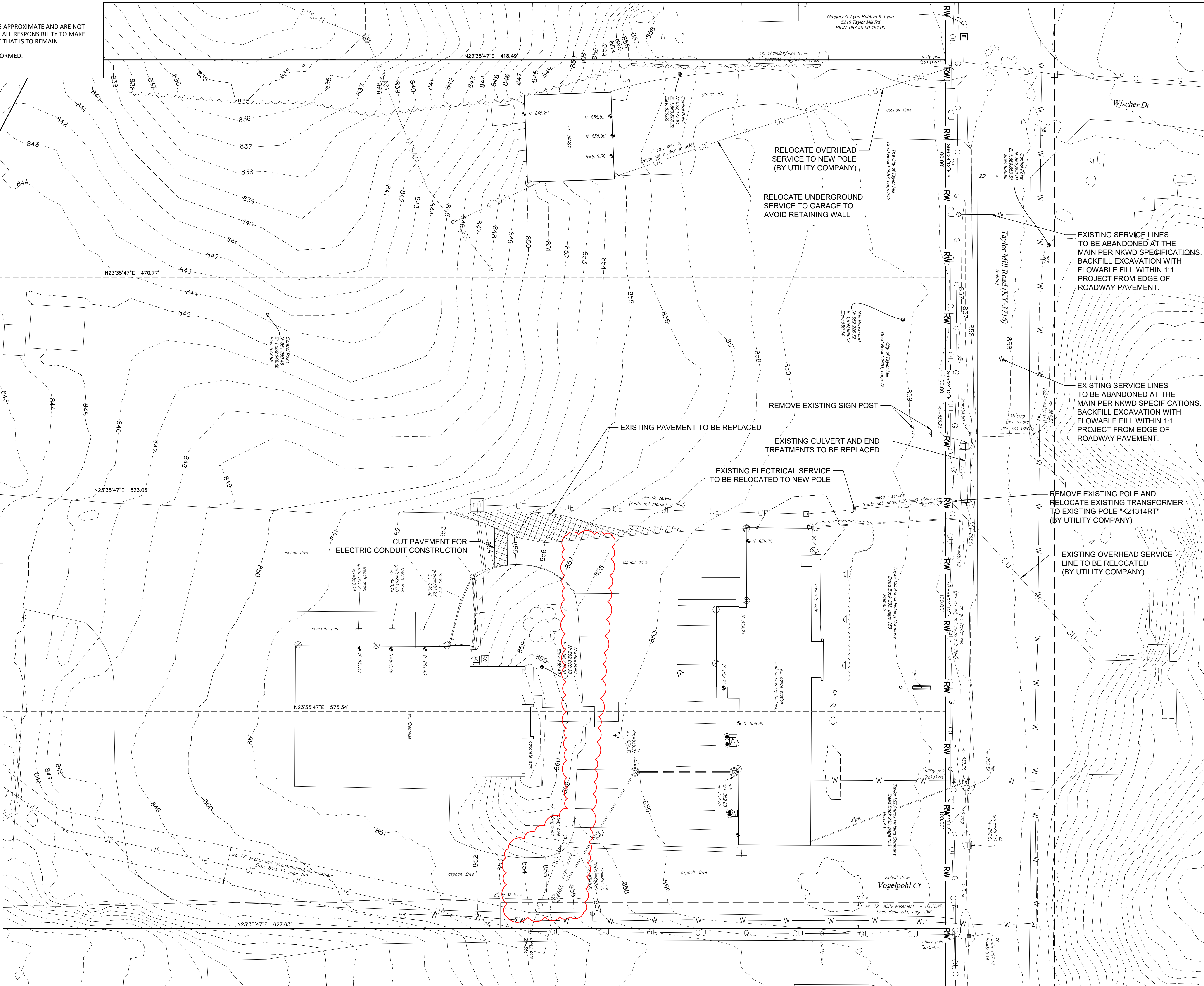
7. Gas facilities are kept in service at all times.
8. The contractor shall be responsible for all damage to gas facilities during or as a result of the contractor's construction. all damage to gas facilities during adjustments, relocations and/or repairs will be made at the contractor's expense.
9. The contractor shall sheet and shore all excavations as required to continuously support gas facilities within the zone of influence (as determined by the natural angle or repose of the soil).
10. Crossing buried gas facilities with heavy construction equipment may cause damage to the gas facilities. contact the gas engineering department for details on how to protect the gas facilities from damage.
11. The contractor shall not backfill exposed gas facilities until the utility has inspected its facilities and performed any maintenance and/or adjustments that may be required.
12. The contractor is responsible for preventing and damage to our gas facilities. This includes protection of coolings and wrappings on steel gas mains. It also includes any damage which may have occurred to plastic gas mains, such as crimps or gauges.
13. When cast iron or similar gas facilities are exposed or interfered with by the contractor, replacement or reinforcement by Duke may be required at the contractor's expense. backfill with control low strength material will be required.
14. Blasting or other construction procedures which may transmit loads or vibration in the vicinity of gas facilities must be approved by Duke's gas engineering department. A blasting plan, identifying all pertinent information, must be submitted in writing by a blasting expert prior to any work.

15. Proposed development plans around and near gas facilities within private easements must be submitted to uhp&s gas engineering department for review. these plans must be approved before any work may begin within our easement.
16. Specified easement widths must be maintained in order for Duke to protect it's facilities.
17. No permanent structures may be built within the easements.
18. Cuts and fills are generally not permitted within the easements. Some fills may be allowed and will be reviewed on an individual basis. Any permitted fills will be limited to an amount which will allow uhp&s to properly maintain facilities.
19. Perpendicular utility crossings of gas easements are acceptable, provided proper clearances are maintained. parallel installations are normally not allowed.

TAYLOR MILL FIREHOUSE SITE PLAN - BID SET TAYLOR MILL, KENTON COUNTY, KY	
GENERAL NOTES	
Project No:	Checked:
Date: 04.11.2024	JUV Ref: CCS
Sheet:	
C001	

1. THE LOCATIONS OF ALL UTILITIES ARE ASSUMED TO BE APPROXIMATE AND ARE NOT NECESSARILY COMPLETE. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY TO MAKE REPAIRS IF DAMAGES ARE MADE TO INFRASTRUCTURE THAT IS TO REMAIN UNDISTURBED.
2. PRIVATE UTILITY LOCATING SERVICES WERE NOT PERFORMED.
3. CAUTION WORKING UNDER LOW POWER LINES.

- EXISTING IRON PIN
- SET 1/2" REBAR AND CAP
- ▲ EXISTING CONC. MON.
- ▬ CATCH BASIN DOUBLE GRATE
- ▬ CATCH BASIN SINGLE GRATE
- ▬ CATCH BASIN 2x2
- ⊕ STORM MANHOLE
- ⊙ CATCH BASIN
- ┌ HEAD WALL
- ⋈ GAS VALVE
- ⋈ LIGHT POLE
- ⋈ FIRE HYDRANT
- ⋈ POLE
- ⊕ SANITARY MANHOLE
- ⋈ WATER VALVE
- ⋈ TREE
- ⋈ BUSH
- ⋈ SIGN
- ⊕ GAS METER
- ⊕ WATER METER
- ⊕ ELECTRIC MANHOLE
- ⊕ UTILITY BOX
- ⋈ UTILITY VALVE
- ⋈ TELEPHONE MANHOLE
- ⋈ FLAG POLE



TAYLOR MILL FIREHOUSE
SITE PLAN - BID SET
TAYLOR MILL, KENTON COUNTY, KY
EXISTING CONDITIONS & DEMOLITION PLAN

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\\saham\homer\0303\TAYLOR MILL FIREHOUSE\DWG\SHEETS\Taylor Mill Firehouse S1.e Plan - LAYOUT.dwg

KEYNOTES

1. 18" VERTICAL/HEADER CURB
2. 6" INTEGRAL CURB & SIDEWALK
3. TAPER CURB END
4. 6" CONCRETE WALK
5. 5" CONCRETE WALK
6. HANDICAP SYMBOL SHALL BE (2) COATS REFLECTIVE BLUE PAINT AND PARKING STALL STRIPING SHALL BE (2) COATS REFLECTIVE WHITE PAINT. ISLE STRIPING 6" WIDE SOLID WHITE LANES, 3' APART W/SOLID WHITE TRANSVERSE LINES TYP. HANDICAP PARKING SIGN VAN ACCESSIBLE.
7. PARKING LOT STRIPING: 4" SOLID WHITE STRIPE, (2) COATS REFLECTIVE WHITE PAINT.
8. ADA RAMP. TRANSITION CURB AT HANDICAP RAMPS.
9. GUARDRAIL
10. CAST IN PLACE RETAINING WALL WITH GUARDRAIL (TO BE DESIGNED BY OTHERS)
11. EXPANSION JOINT WITH GRAY JOINT SEALER BETWEEN CONCRETE PAVEMENTS AND FIXED OBJECTS (BUILDING, WALL, POLES, CATCH BASINS, ETC.)
12. TRANSFORMER
13. STOP BAR: 24" SOLID WHITE STRIPE, (2) COATS REFLECTIVE WHITE PAINT.
14. "DO NOT ENTER" & "STOP" SIGNS (36"x36") PER MUTCD STANDARD DRAWINGS
15. 8" HIGH PVC BOOT (SEE ARCHITECTURE PLAN)
16. FIREHOUSE SIGN (SEE ARCHITECTURE PLAN) (SIGN AND FOUNDATION TO BE COORDINATED WITH STORM SEWER LOCATION)
17. JOINT SEALER

SEE DETAILS ON SHEET C601. ITEM NUMBERS CORRESPOND WITH DETAIL NUMBERS.

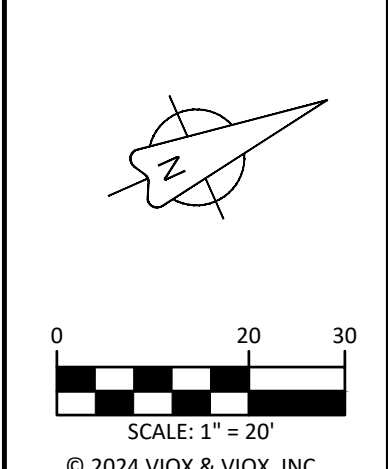
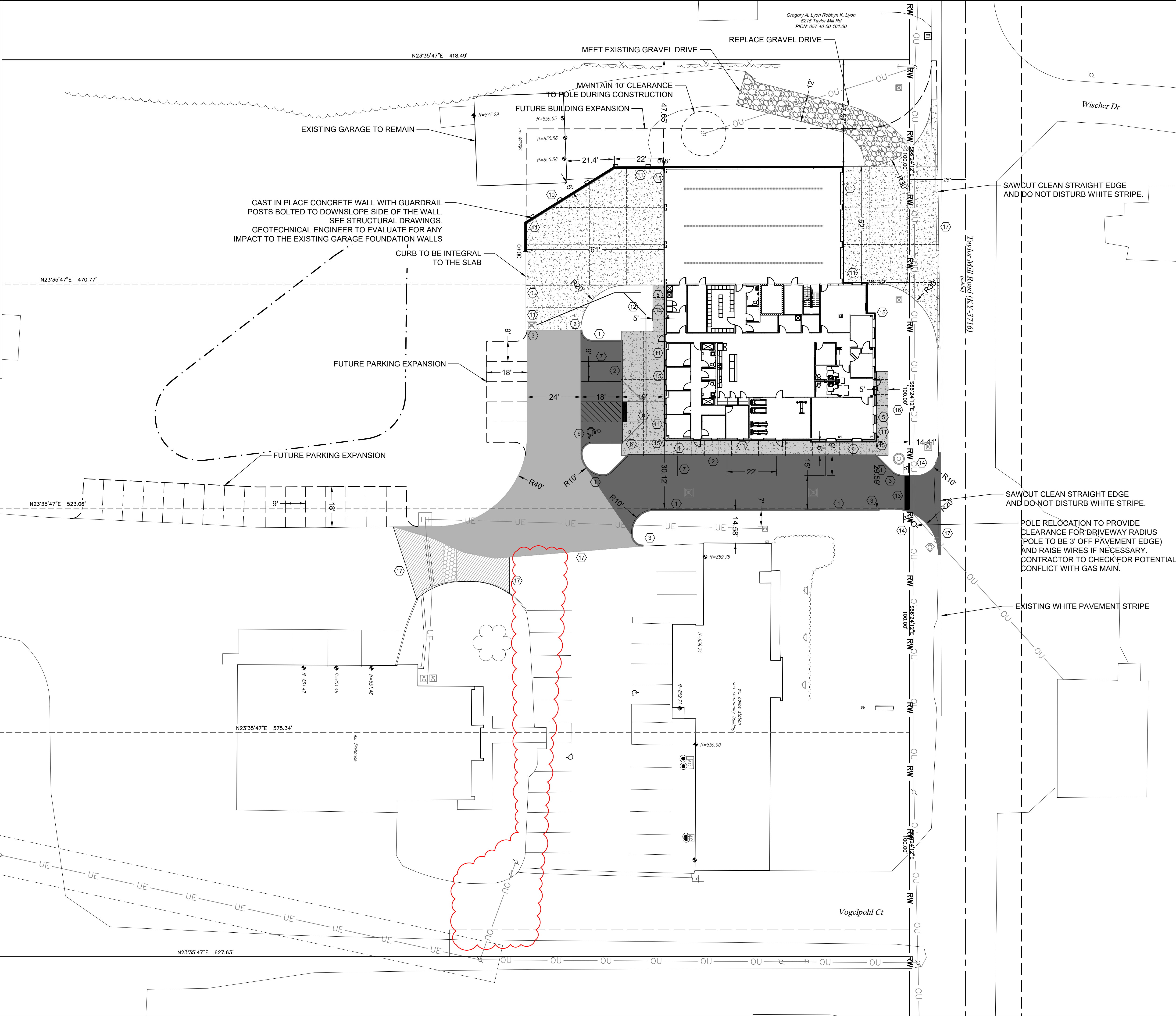
NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB, FACE OF BUILDING OR PROPERTY LINE UNLESS NOTED OTHERWISE.
2. ALL INTERNAL RADII TO BE 5' MINIMUM AT FACE OF CURB UNLESS OTHERWISE NOTED.
3. STOP SIGN, ONE WAY SIGNS, HANDICAP SIGNS ARE NOT SHOWN, BUT WILL BE NEEDED
4. TRASH LOCATION TO BE DETERMINED
5. ALL CURBS ADJACENT TO CONCRETE PAVEMENT ARE TO BE POURED INTEGRAL TO THE PAVEMENT UNLESS OTHERWISE NOTED.

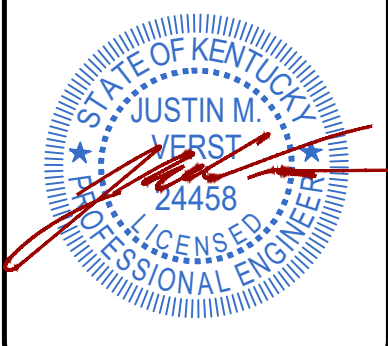
LEGEND

SEE C602 FOR PAVEMENT DETAILS

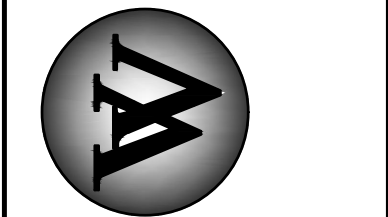
- STANDARD DUTY ASPHALT PAVEMENT
- HEAVY DUTY ASPHALT PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- GRAVEL
- MILL AND OVERLAY
- PAVEMENT RESTORATION - FULL DEPTH TO MATCH EXISTING PAVEMENT



Item	Revision	Date	By	Chk.
1	KTYC Revision	5/9/24	CCS	JMV
2	KTYC Revision	9/12/24	CCS	JMV
3	REVISED SANITARY LATERAL	10/28/24	CCS	JMV



VIOX & VIOX
Civil Engineers, Surveyors, and Landscape Architects
406 Erlanger Road • Erlanger, Kentucky 41018
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TAYLOR MILL FIREHOUSE
SITE PLAN - BID SET
TAYLOR MILL, KENTON COUNTY, KY
LAYOUT PLAN

Project No:	Checked:
Date:	JMV
04.11.2024	CCS
Sheet:	
C200	

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P:\SUBMITTALS\2024\TAYLOR MILL FIREHOUSE - EROSION CONTROL\2024\TAYLOR MILL FIREHOUSE - EROSION CONTROL - EROSION CONTROL PLAN - EROSION CONTROL PLAN.dwg

EPSC LEGEND	
	TEMP. ROCK CONSTRUCTION ENTRANCE
	SILT FENCE INLET PROTECTION
	FLEX STORM INLET PROTECTION
	ROCK DITCH CHECK
	PERMANENT SEEDING
	TEMPORARY SEEDING
	CONCRETE WASHOUT & STORAGE AREA
	RIP-RAP OR EQUIVALENT VELOCITY DISSIPATION DEVICE
	EROSION CONTROL BLANKET - EAST COAST EROSION BLANKETS ECC-2B

DETENTION POND TO BE USED AS A SEDIMENT BASIN DURING CONSTRUCTION. AFFIX SKIMMER TO CONTROL STRUCTURE. SKIMMER TO REMAIN UNTIL THE SITE IS STABILIZED AND NO MORE SEDIMENT IS ENTERING THE BASIN. ONCE SITE IS STABILIZED REMOVE SKIMMER, DE-SILT THE BASIN, FINAL GRADE THE BOTTOM OF THE BASIN, AND INSTALL PERFORATED PIPE AND ROCK. ANY AREA DISTURBED BY THIS WORK TO GET NEW GRASS SEED AND EROSION CONTROL BLANKET INSTALLED IMMEDIATELY TO AVOID SEDIMENT CLOGGING OF ROCK AND PERFORATED PIPE. CLOGGED ROCK WILL REQUIRE REPLACEMENT.

EROSION CONTROL NOTES

- ALL FINAL SLOPES OF 8% OR GREATER WILL BE SEEDED AND MULCHED AS PER SECTION NO. 704 OF THE NORTHERN KENTUCKY REGIONAL STORM WATER MANAGEMENT PROGRAM RULES AND REGULATIONS.
- DRAINAGE DITCHES HAVING SLOPES GREATER THAN 5% WILL BE SODDED AS PER SECTION 506.2 OF THE NORTHERN KENTUCKY REGIONAL STORM WATER MANAGEMENT PROGRAM RULES AND REGULATIONS.
- EXISTING VEGETATION SHALL BE PRESERVED WHERE POSSIBLE. ALL DISTURBED AREAS OF THE SITE SHALL BE STABILIZED. STABILIZATION SHALL BEGIN WITHIN 14 DAYS ON AREAS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY (FOR 21 DAYS OR MORE) CEASES. WHEN SNOW COVER CAUSES DELAYS, STABILIZATION SHALL BEGIN AS SOON AS POSSIBLE.
- CONTRACTOR SHALL INSPECT THE BMP'S AT LEAST EVERY 7 DAYS AND AFTER A RAIN EVENT OF 0.5" AND GREATER.
- CONSTRUCTION BMP'S SHALL BE REVISED OR ADDED AS DEEMED NECESSARY PER SECTION 808 OF THE NORTHERN KENTUCKY REGIONAL STORM WATER MANAGEMENT PROGRAM RULES AND REGULATIONS.
- SLOPES SHALL BE LEFT IN ROUGHENED CONDITIONED DURING THE GRADING PHASE TO REDUCE RUNOFF VELOCITIES AND EROSION.
- ADDITIONAL CONTROL MEASURES TO BE ADDED AS NOTED.
- CONTRACTOR MAY SELECT AN ALTERNATE LOCATION FOR THE CONCRETE WASHOUT AREA

SCALE: 1" = 20'
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Item	Rev	By	Chk	Date
1	1	KTYC	CS	5/2/24

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406 Erlanger Road • Erlanger, Kentucky 41018
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TAYLOR MILL FIREHOUSE
SITE PLAN - BID SET
TAYLOR MILL, KENTON COUNTY, KY
EROSION CONTROL PLAN

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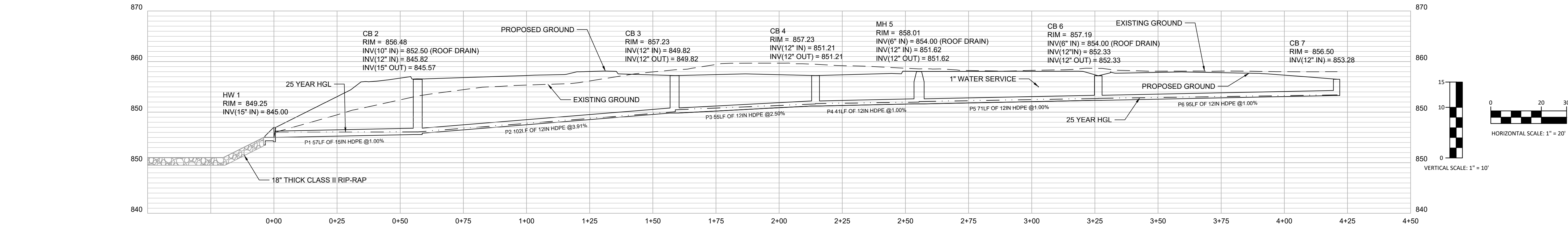
Sheet:
C400

1. SANITARY SEWER LATERAL PIPE TO BE PVC SDR-35 OR SCH 40 AND INSTALLED IN ACCORDANCE WITH PLUMBING CODE.
2. SANITARY SEWER MAIN CONNECTION TO BE INSTALLED PER SANITATION DISTRICT 1 DETAILS & SPECIFICATIONS.
3. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS FOR FINAL LOCATION OF SANITARY LATERAL CONNECTION AT BUILDING.
4. ALL CATCH BASINS AT LOW POINTS TO HAVE FINGER DRAINS.
5. DOWNSPOUT LINES TO BE PVC SDR-35 OR DUALWALL HDPE (N-12), 1% MINIMUM SLOPE & 30" MINIMUM COVER. ALL CONNECTIONS SHALL BE MADE WITH WYES NOT TEES AND NO FITTINGS GREATER THAN 45° ARE PERMITTED. COORDINATE WITH MEP DRAWINGS FOR FINAL CONNECTION OF DS LINES AT BUILDING.
6. ALL WATER SERVICE PIPING, FITTINGS, BENDS, VALVES, ETC. TO BE BUILT PER NORTHERN KENTUCKY WATER DISTRICT DETAILS & SPECIFICATIONS AND PLUMBING CODE.
7. CONTRACTOR TO COORDINATE WITH FINAL MEP DRAWINGS FOR FINAL LOCATION AND SIZE OF DOMESTIC WATER SERVICE LINE INCLUDING VALVE LOCATIONS AND OTHER APPURTENANCES.
8. CONTRACTOR TO COORDINATE WITH MEP DRAWINGS FOR ALL FINAL LOCATION OF UTILITY CONNECTIONS AT BUILDINGS.
9. ALL WATER LINES SHALL HAVE 36" MINIMUM COVER.
10. ALL ELECTRIC LINES SHALL HAVE 18" MINIMUM COVER
11. ALL COMMUNICATION LINES SHALL HAVE 18" MINIMUM COVER
12. ALL ELECTRIC AND COMMUNICATION CONDUITS TO HAVE MINIMUM 3' RADIUS SWEEPS AT BENDS
13. CONTRACTOR TO APPLY FOR A SD1 CAPACITY CONNECTION PERMIT AND PAY THE REQUIRED PERMIT FEES AND TAP FEES PRIOR TO TAPPING THE SANITARY SEWER.
14. CONTRACTOR TO APPLY FOR A NKWD CONNECTION PERMIT AND PAY THE REQUIRED PERMIT FEES AND TAP FEES PRIOR TO TAPPING THE WATER MAIN.
15. ELECTRIC, GAS, AND COMMUNICATION LINES REQUIRE THE CONTRACTOR TO ~~CONTACT THE LOCAL UTILITIES.~~
16. MAINTAIN MINIMUM 30" COVER OVER NEW SANITARY LATERAL AND REPLACE EXISTING LATERAL IF/WHERE FOUND TO HAVE LESS THAN 30" COVER



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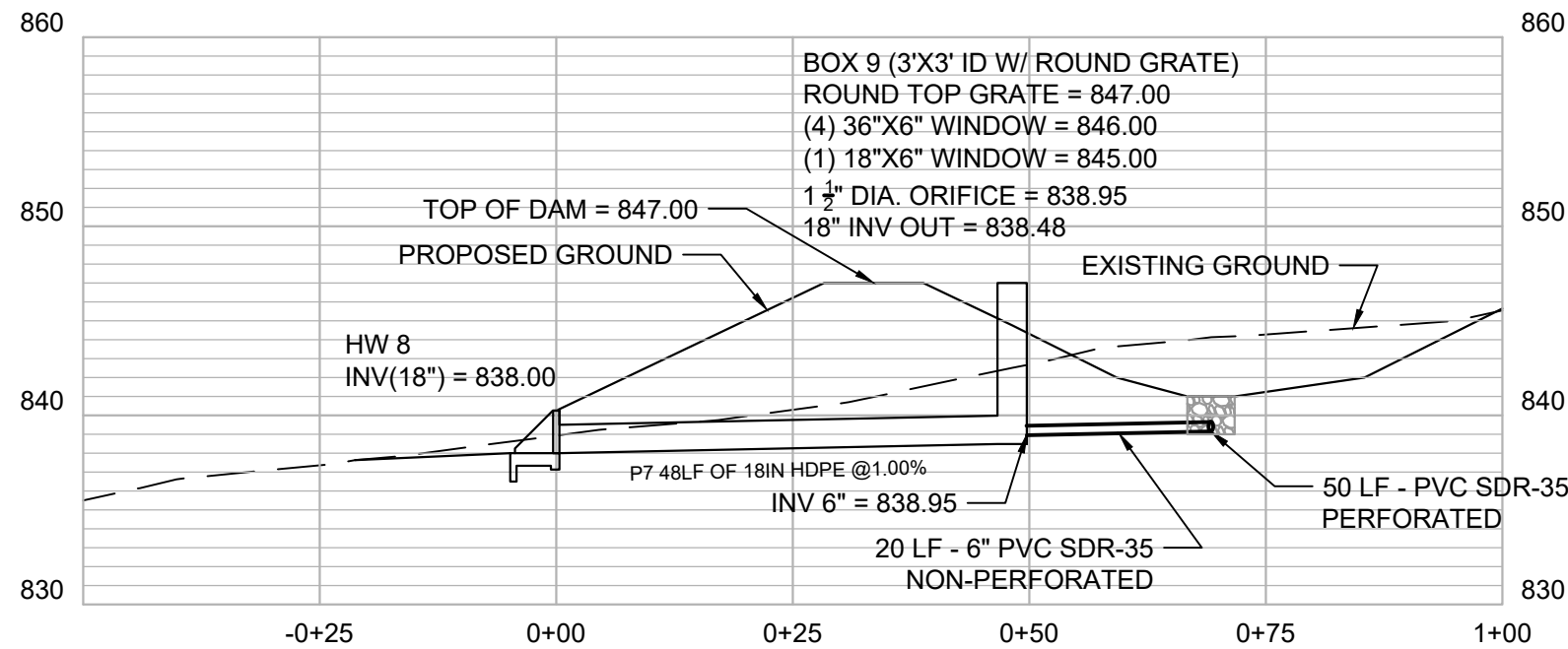
N:\AIA-HOUSE (2024)\TAYLOR MILL FIREHOUSE\DWG\SET\TAYLOR MILL FIREHOUSE SITE PLAN - PROF FILES.dwg
P:\AIA-HOUSE (2024)\TAYLOR MILL FIREHOUSE\DWG\SET\TAYLOR MILL FIREHOUSE SITE PLAN - PROF FILES.dwg



HW 1 - CB 7

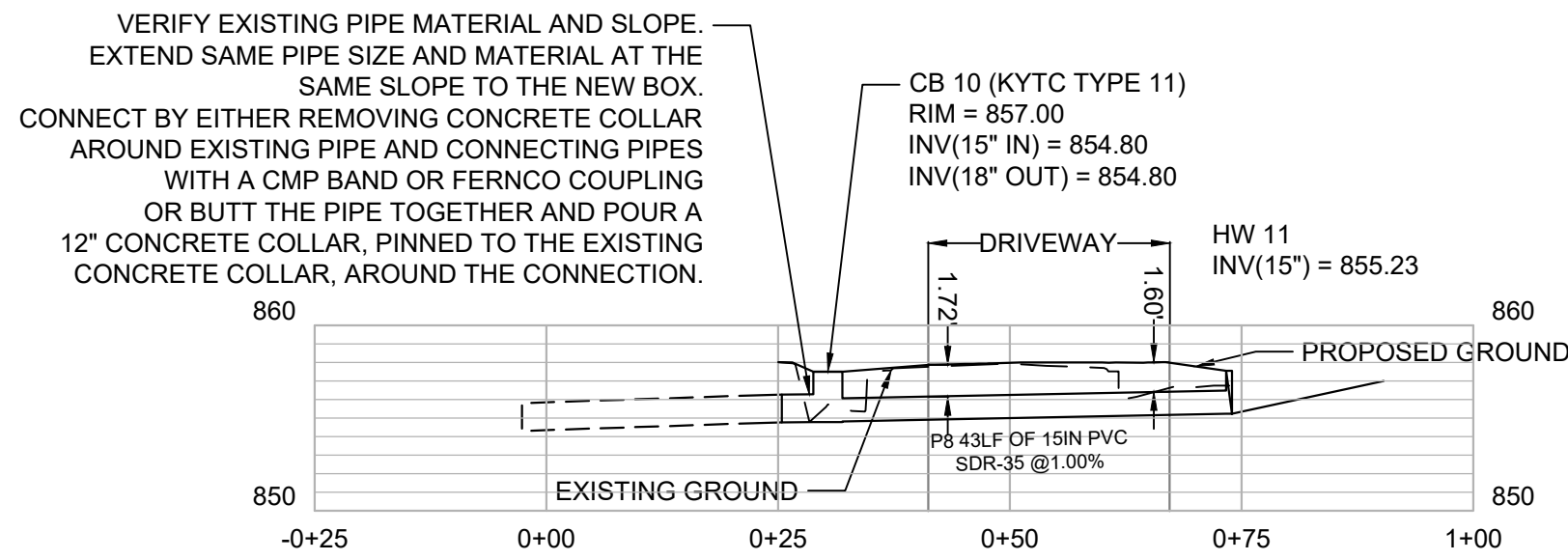
Up-stream Structure	Down-stream Structure	Pipe	Use Pipe Size (in)	Pipe Type	Slope	Min Required Slope
CB 7	CB 6	P6	12	HDPE	1.00%	0.60%
CB 6	MH 5	P5	12	HDPE	1.00%	0.60%
MH 5	CB 4	P4	12	HDPE	1.00%	0.60%
CB 4	CB 3	P3	12	HDPE	2.50%	0.60%
CB 3	CB 2	P2	12	HDPE	3.91%	0.60%
CB 2	HW 1	P1	15	HDPE	1.00%	0.60%
BOX 9	HW 8	P7	SEE STORM WATER REPORT			

STRUCTURE ID	STRUCTURE	DETAIL
HW 1	-	#1 C604
CB 2	3x3'	#8 C604
CB 3	3x3'	#8 C604
CB 4	3x3'	#8 C604
MH 5	4' DIA w/ Slotted Lid	#7 C604
CB 6	2x2'	#6 C604
CB 7	2x2'	#6 C604
HW 8	-	#1 C604
BOX 9	3x3'	C606
CB 10	-	#9 C604
HW 11	-	#5 C604

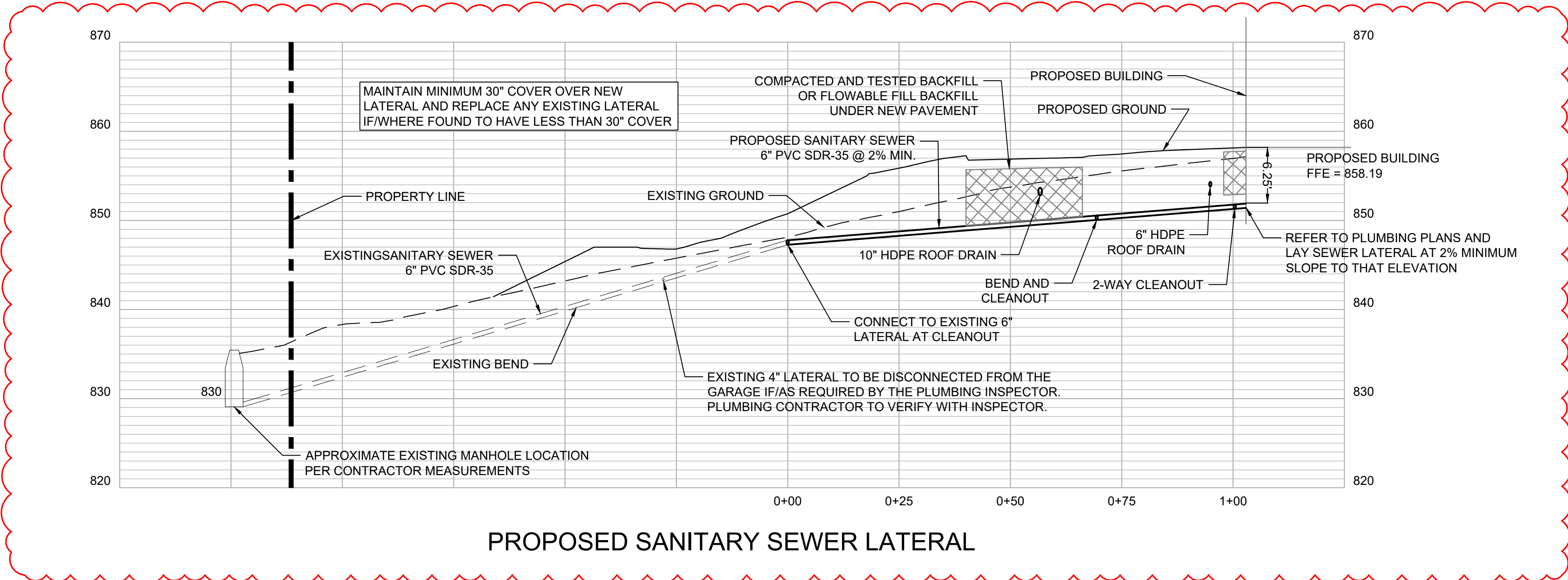


HW 8 - BOX 9

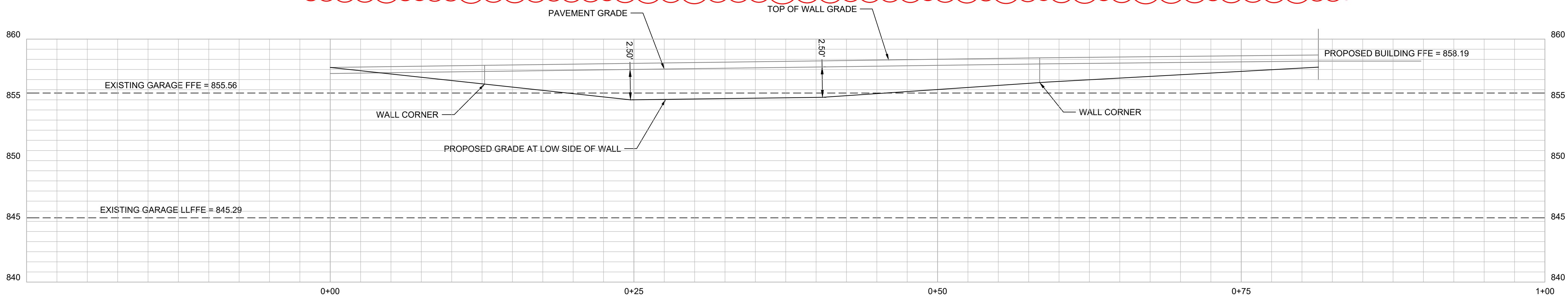
SEE C606 FOR DETAIL



DRIVEWAY CULVERT



PROPOSED SANITARY SEWER LATERAL



WALL PROFILE

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Item	Revision	Date	By	Chk.
1	KYTC Revision	5/2/24	CCS	JMV
2	KYTC Revision	9/12/24	CCS	JMV
3	REVISED SANITARY LATERAL	10/28/24	CCS	JMV

STATE OF KENTUCKY
JUSTIN M. VIOX
24458
Professional Engineer

VIOX & VIOX
Civil Engineers, Surveyors, and Landscape Architects
468 Erlanger Road • Erlanger, Kentucky 41018
602 Lila Avenue • Milford, Ohio 45150
Ph Erlanger (659) 727-3293 • Ph Milford (513) 576-1000
www.vioxinc.com

TAYLOR MILL FIREHOUSE
SITE PLAN - BID SET
TAYLOR MILL, KENTON COUNTY, KY

PROFILES

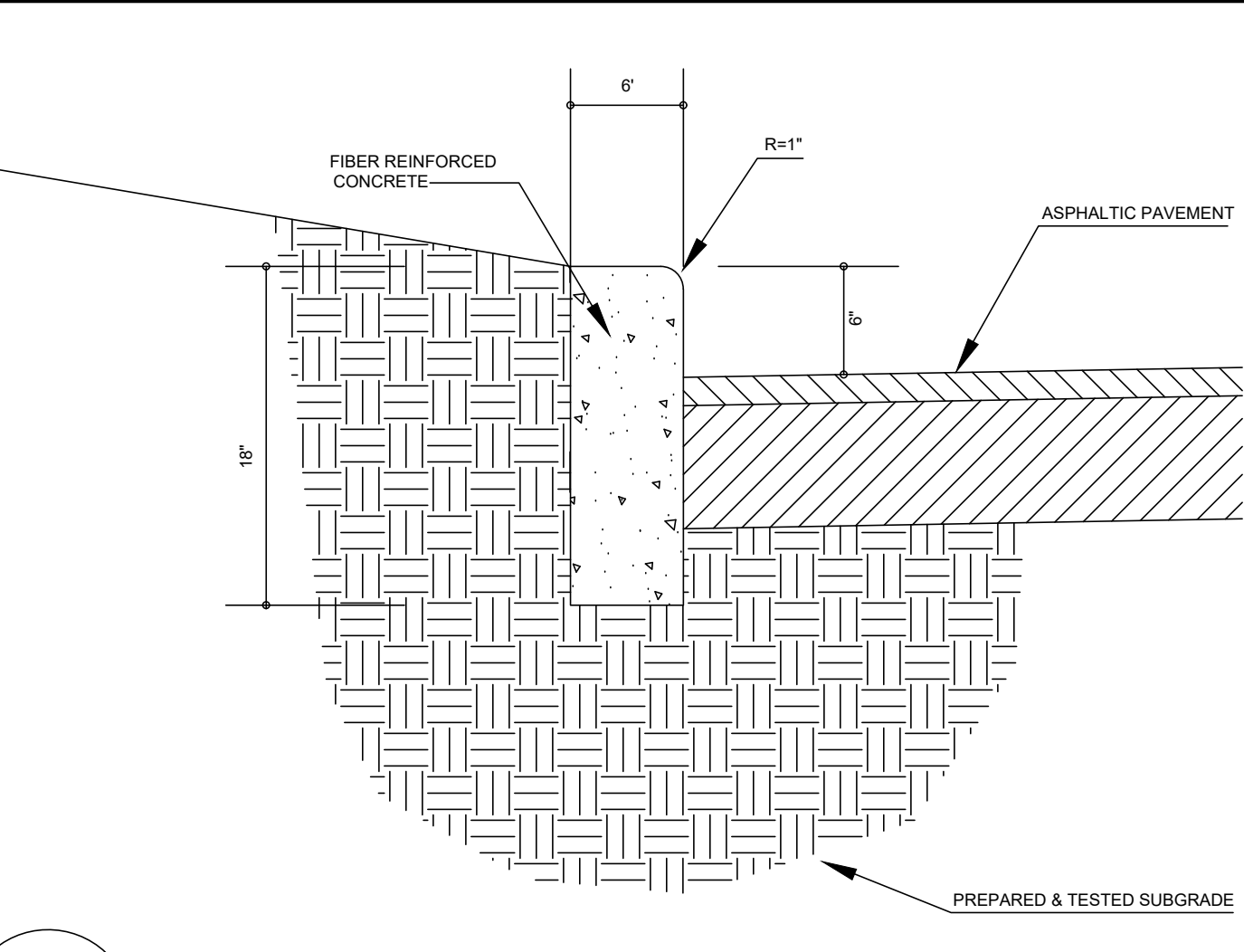
Project No:
Date:
04.11.2024

Checked:
JMV
Ref:
CCS

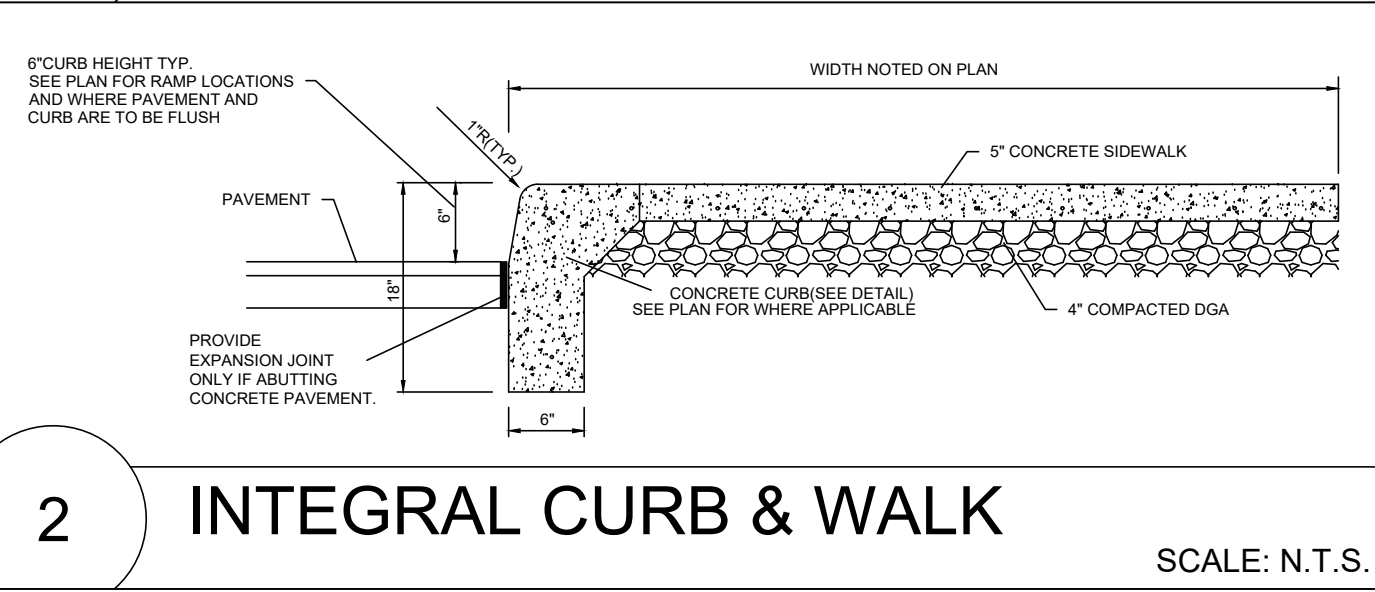
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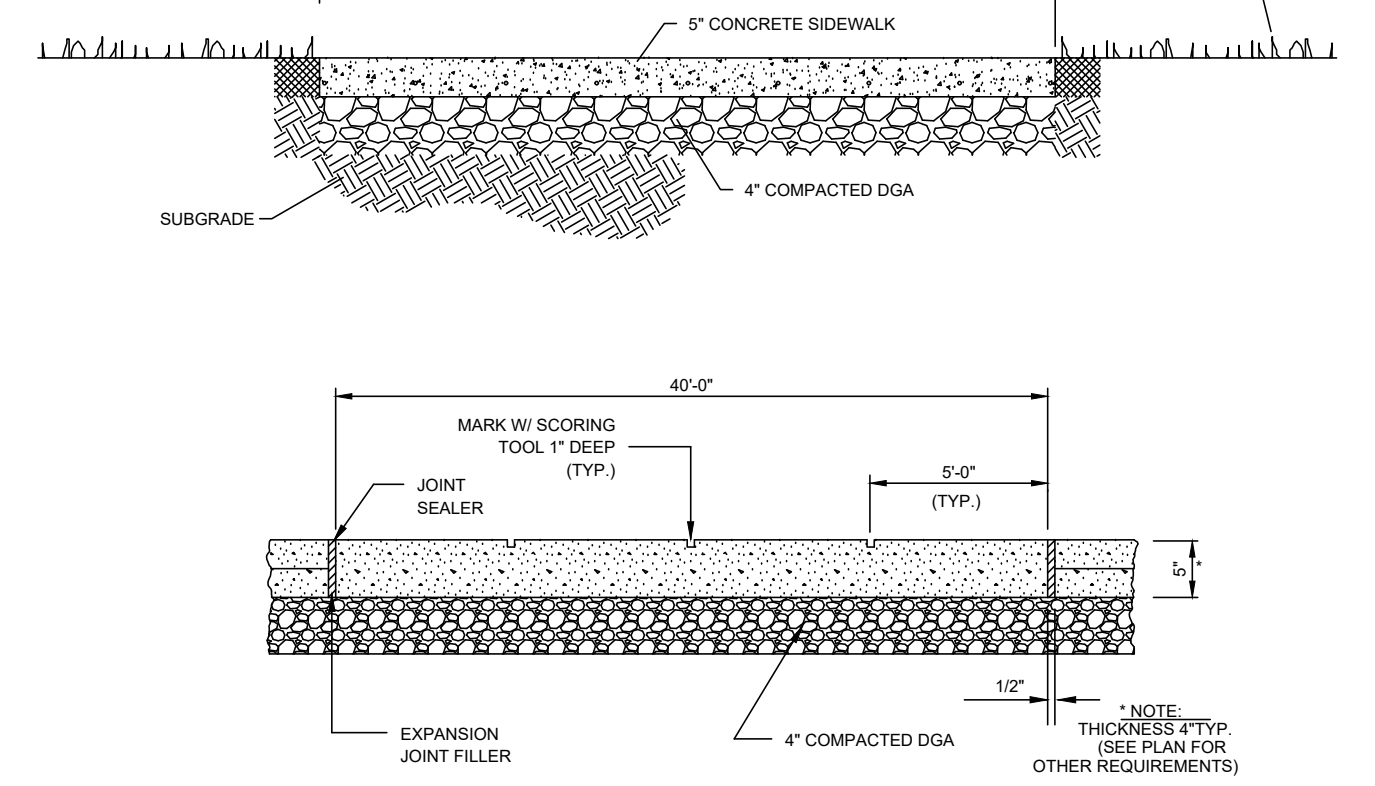
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P:\SUBMITTER: (303) 743-0238, MILL, F:\BIDDING\2024\TAYLOR MILL FIREHOUSE SITE PLAN - DETAILS.dwg



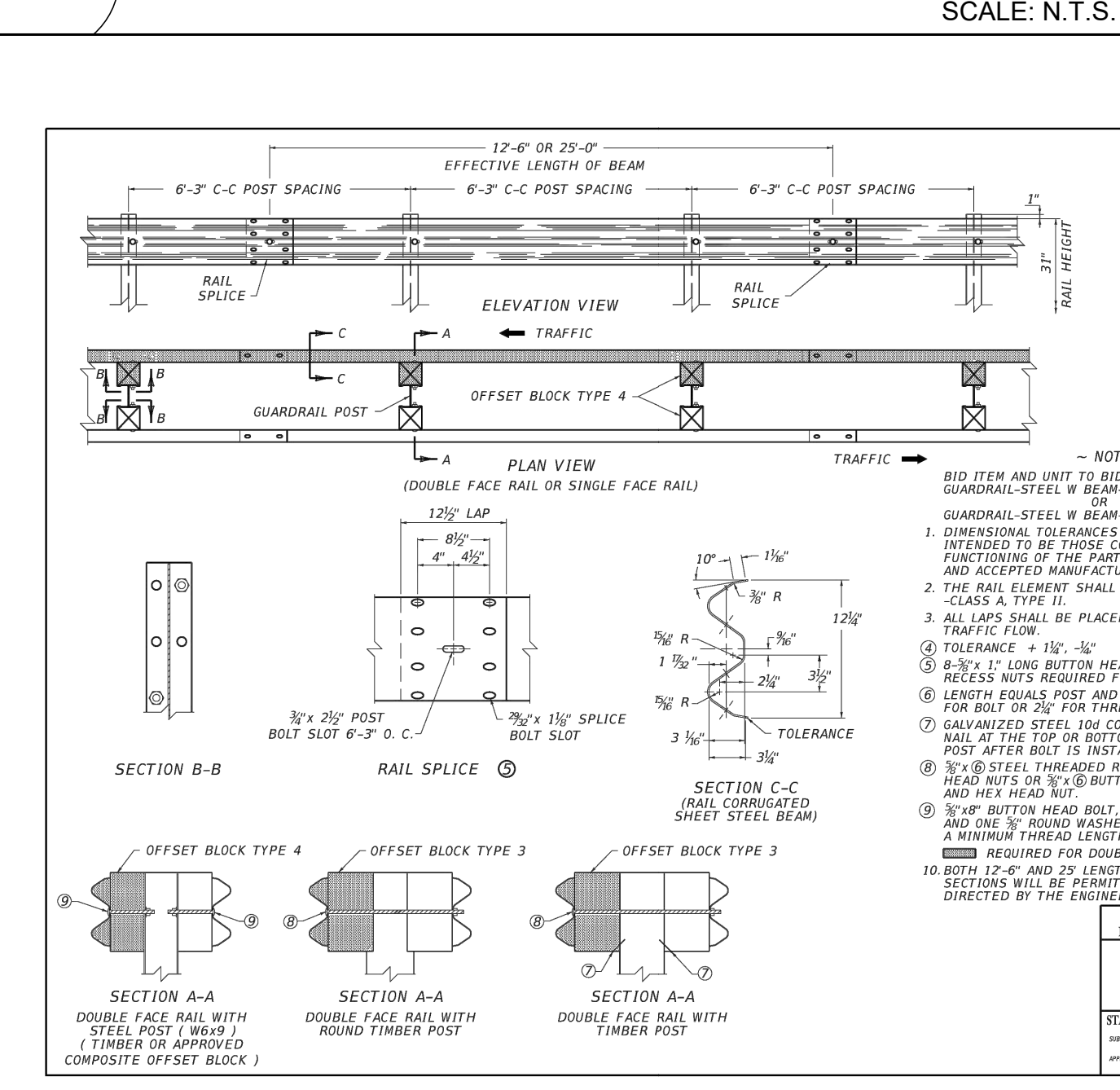
1 TYPICAL CONCRETE CURB DETAIL - HEADER CURB
SCALE: N.T.S.



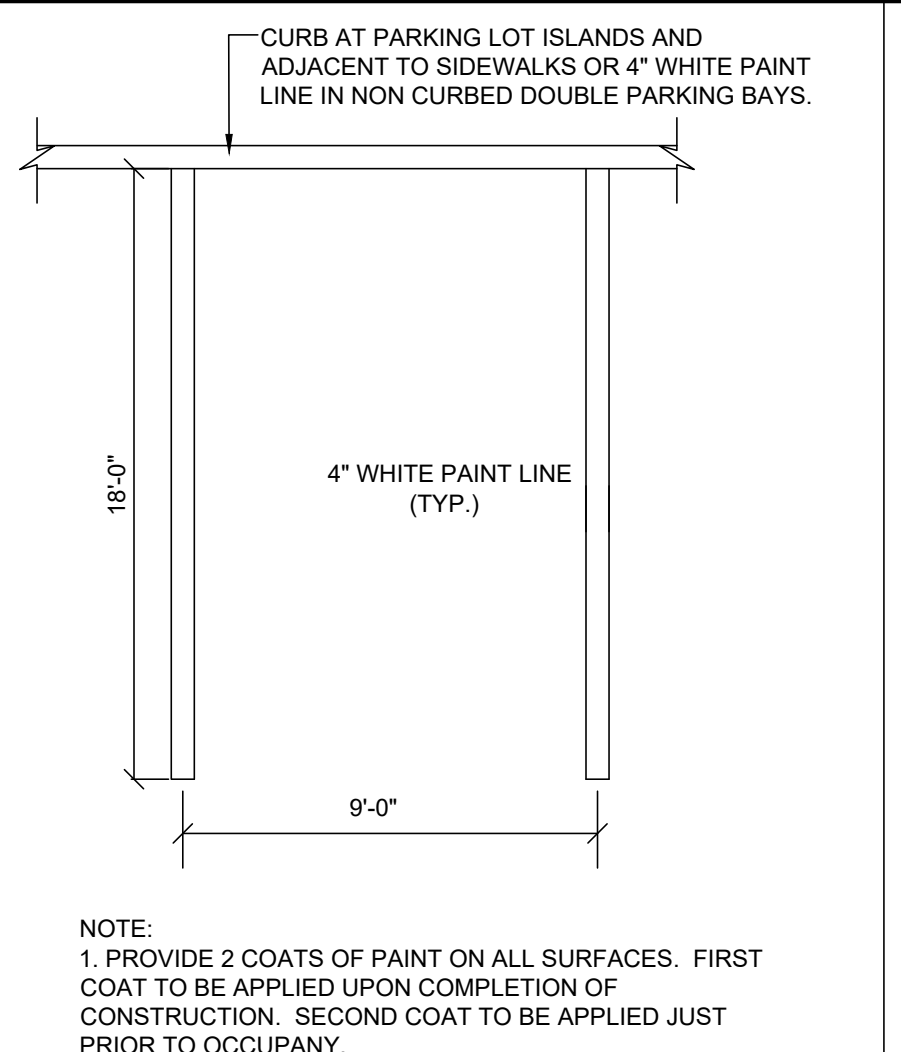
2 INTEGRAL CURB & WALK
SCALE: N.T.S.



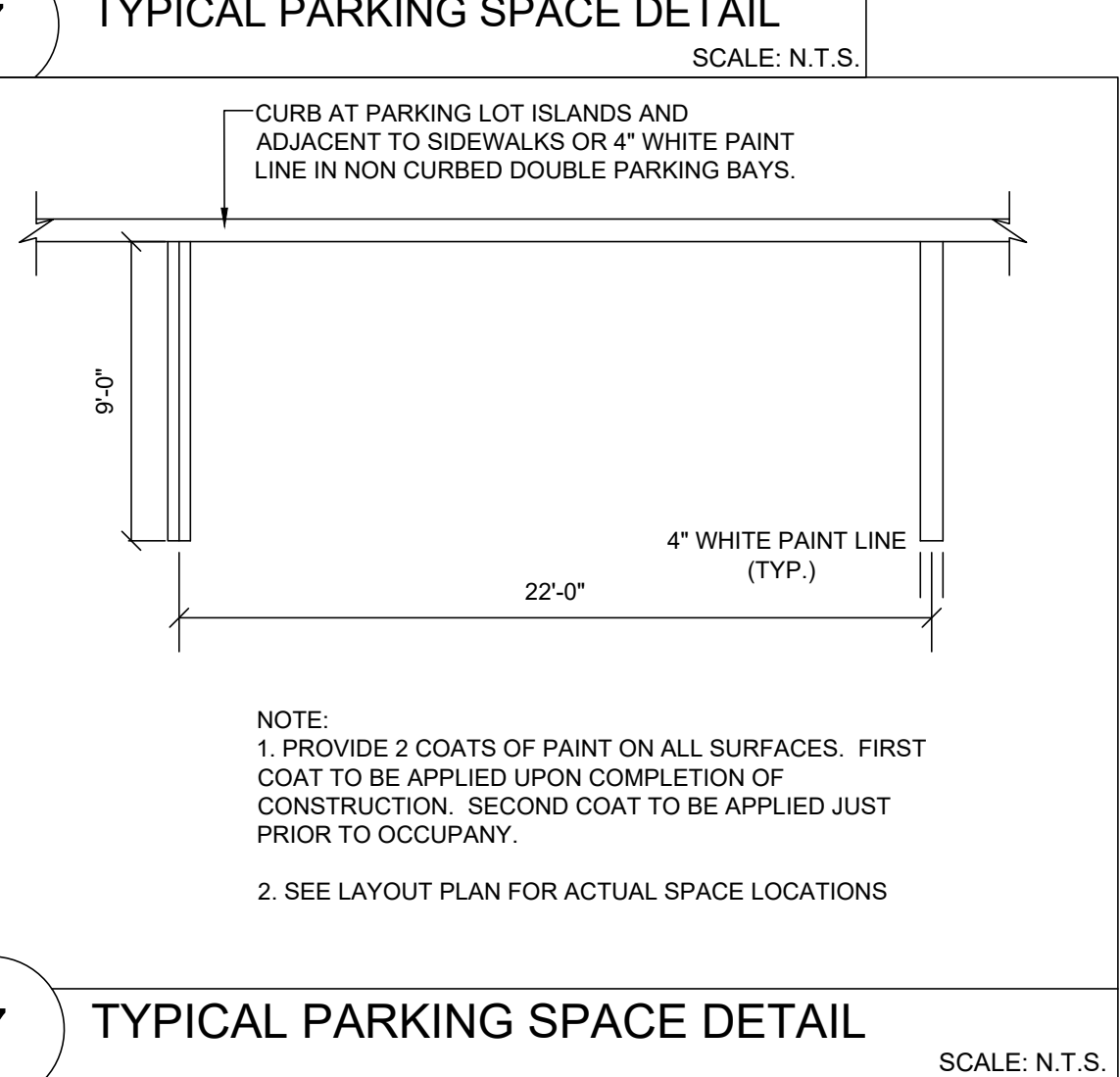
4/5 SIDEWALK SECTIONAL
SCALE: N.T.S.



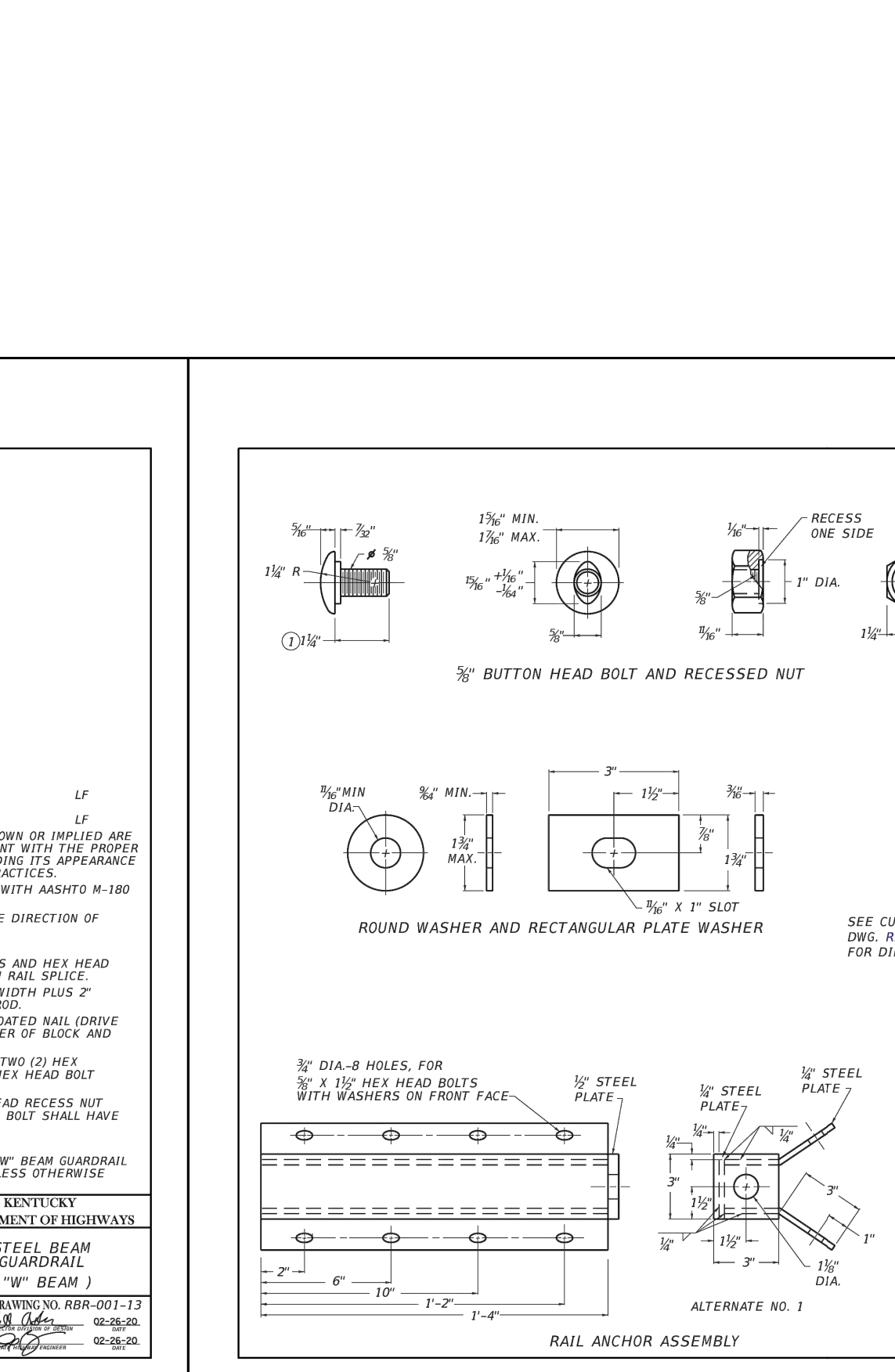
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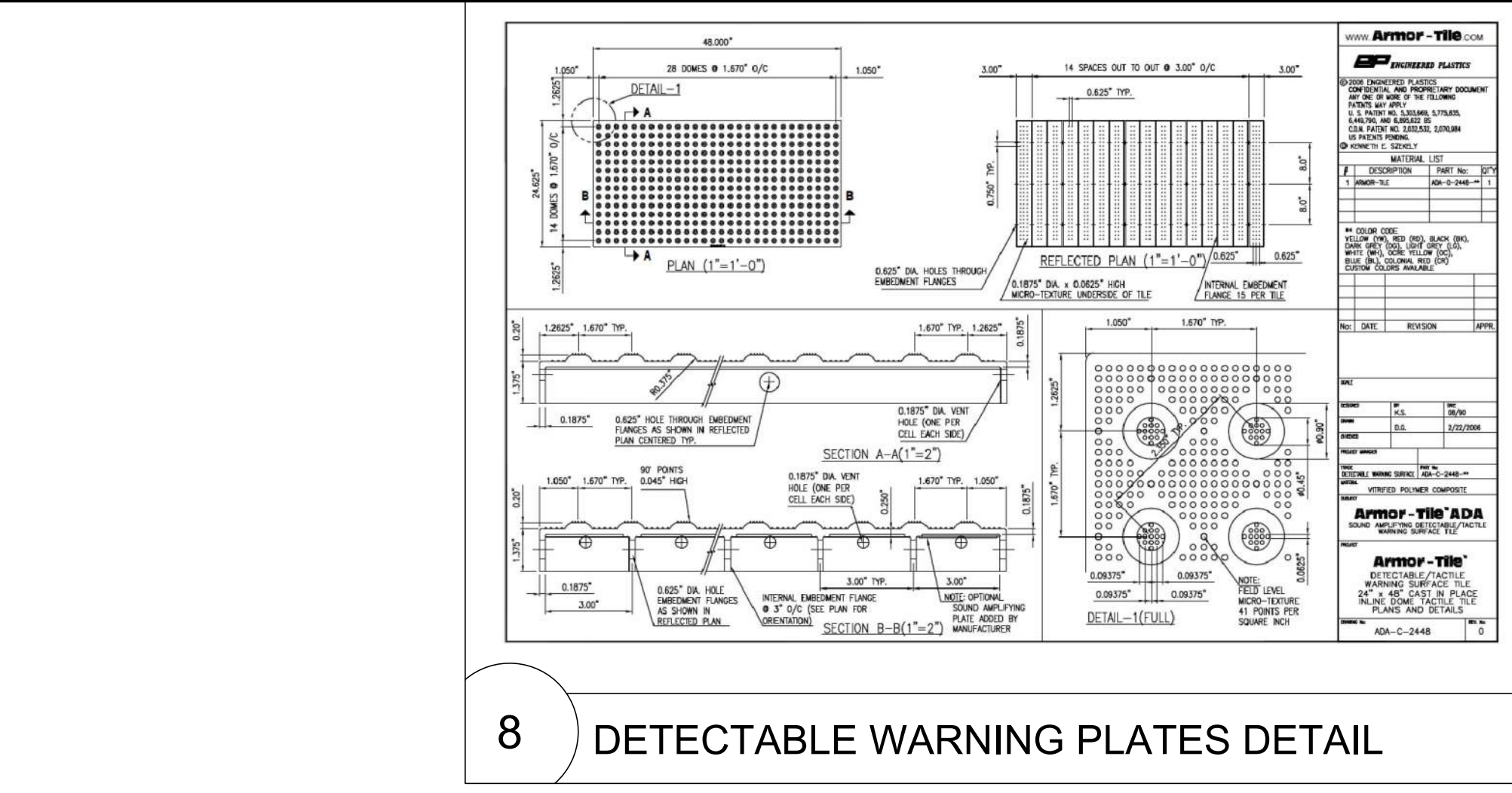
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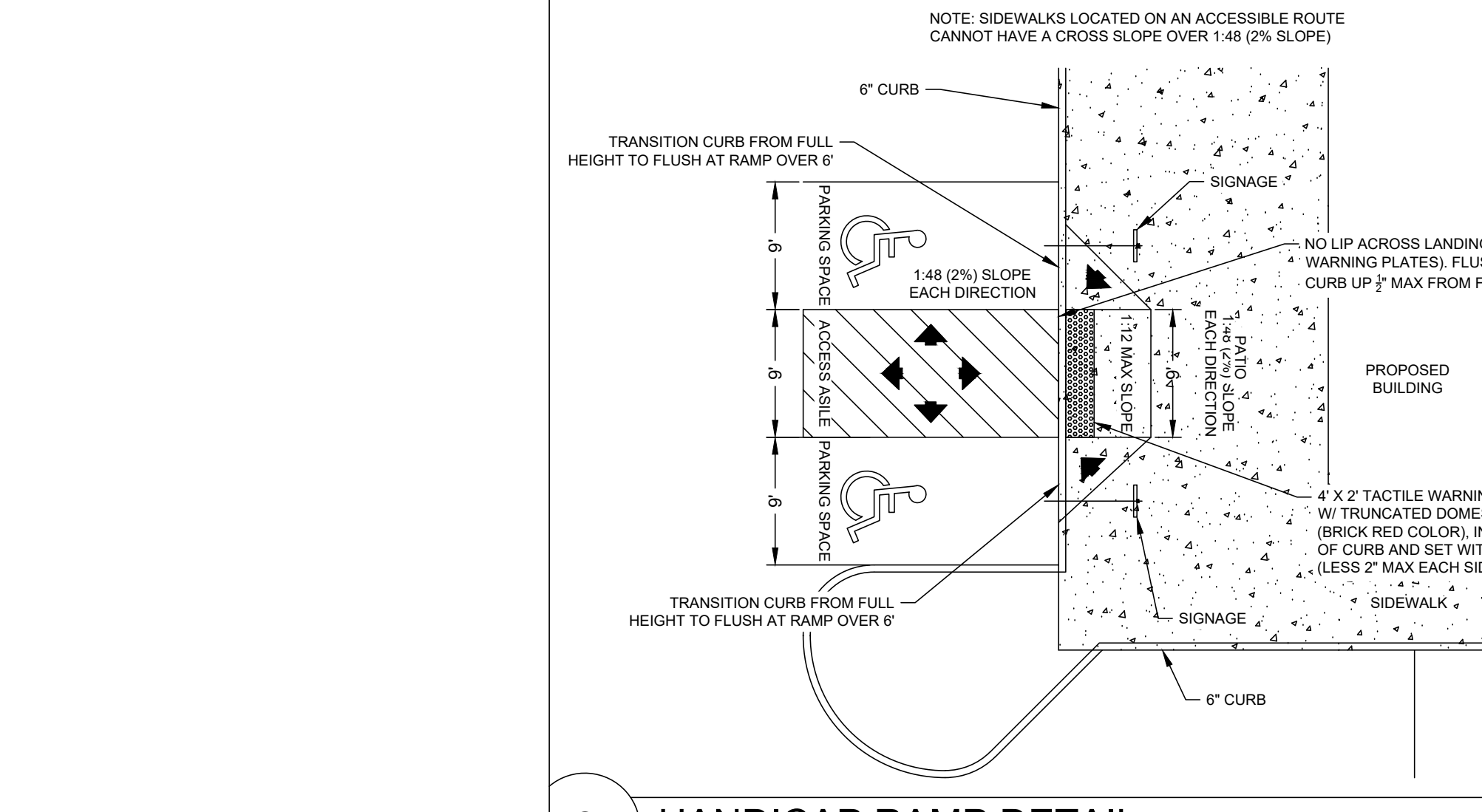
7 TYPICAL PARKING SPACE DETAIL
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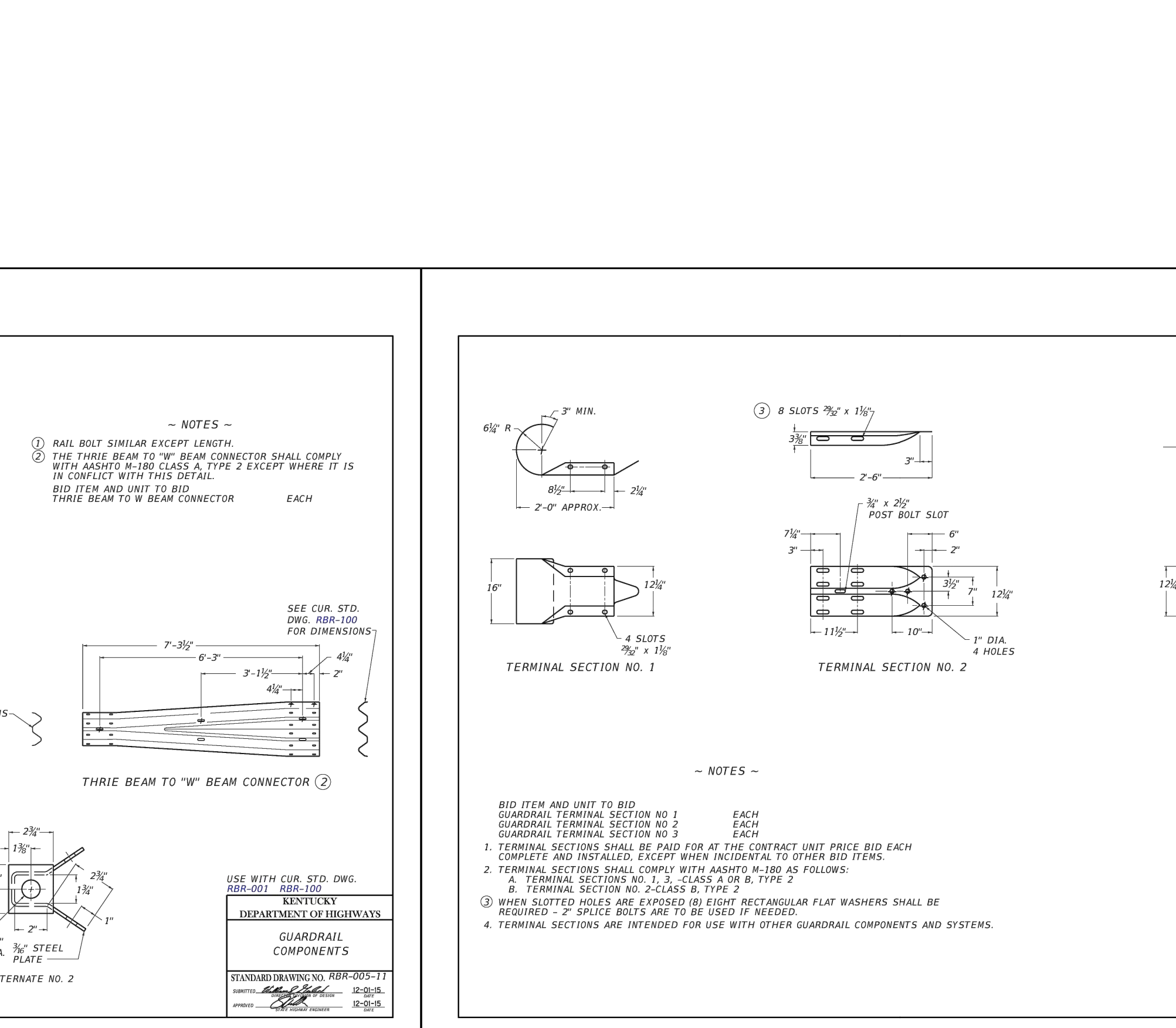
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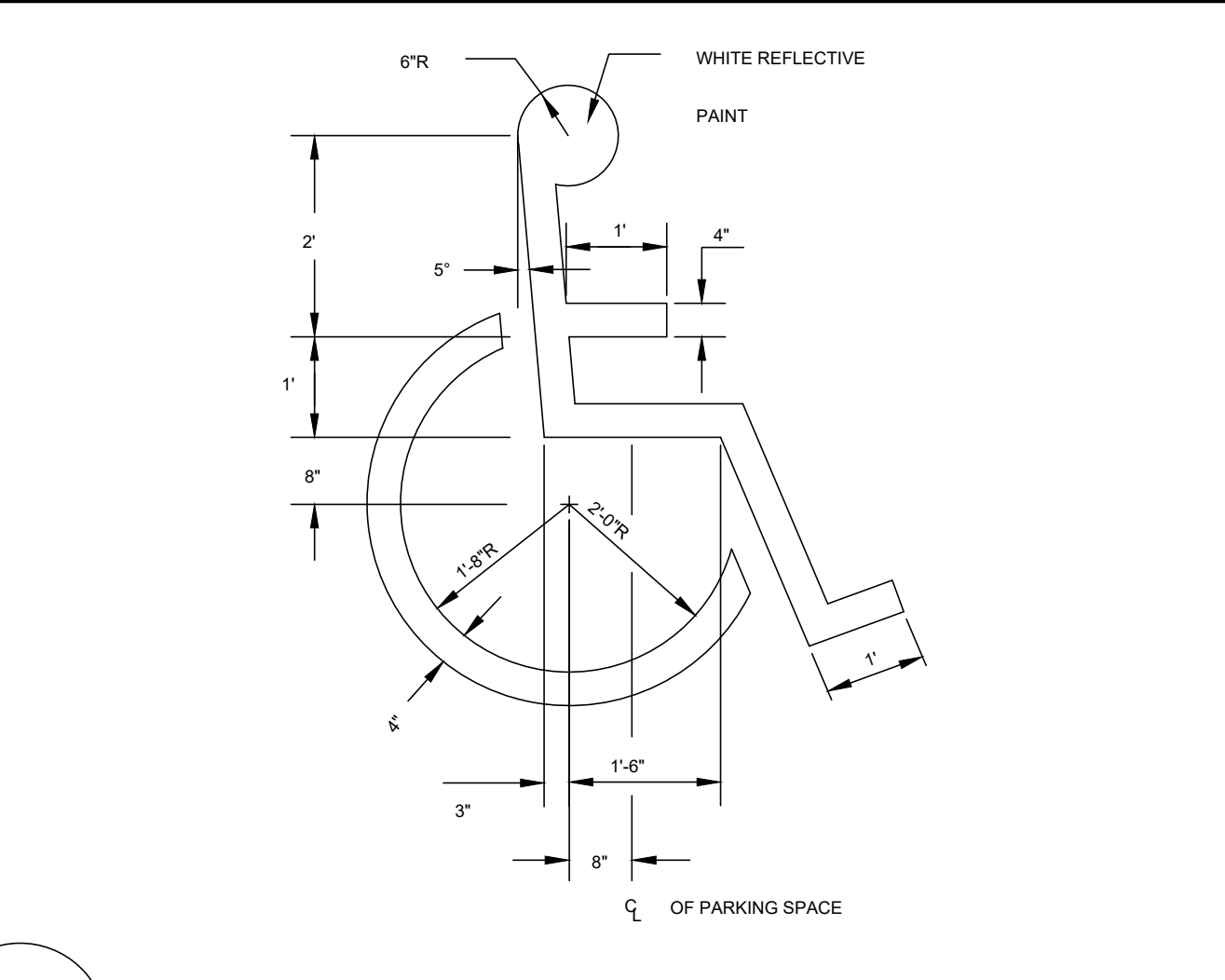
8 DETECTABLE WARNING PLATES DETAIL



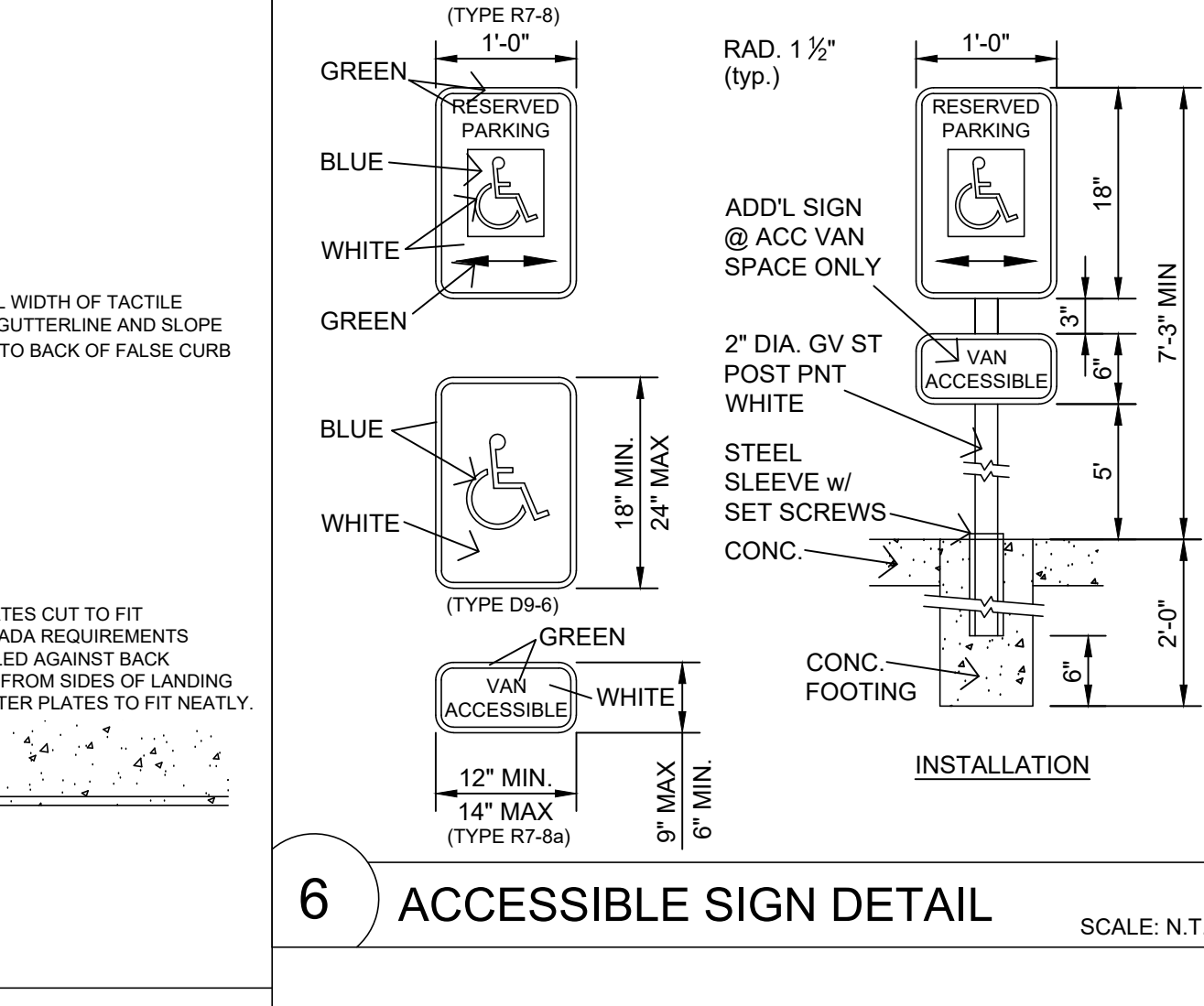
8 HANDICAP RAMP DETAIL



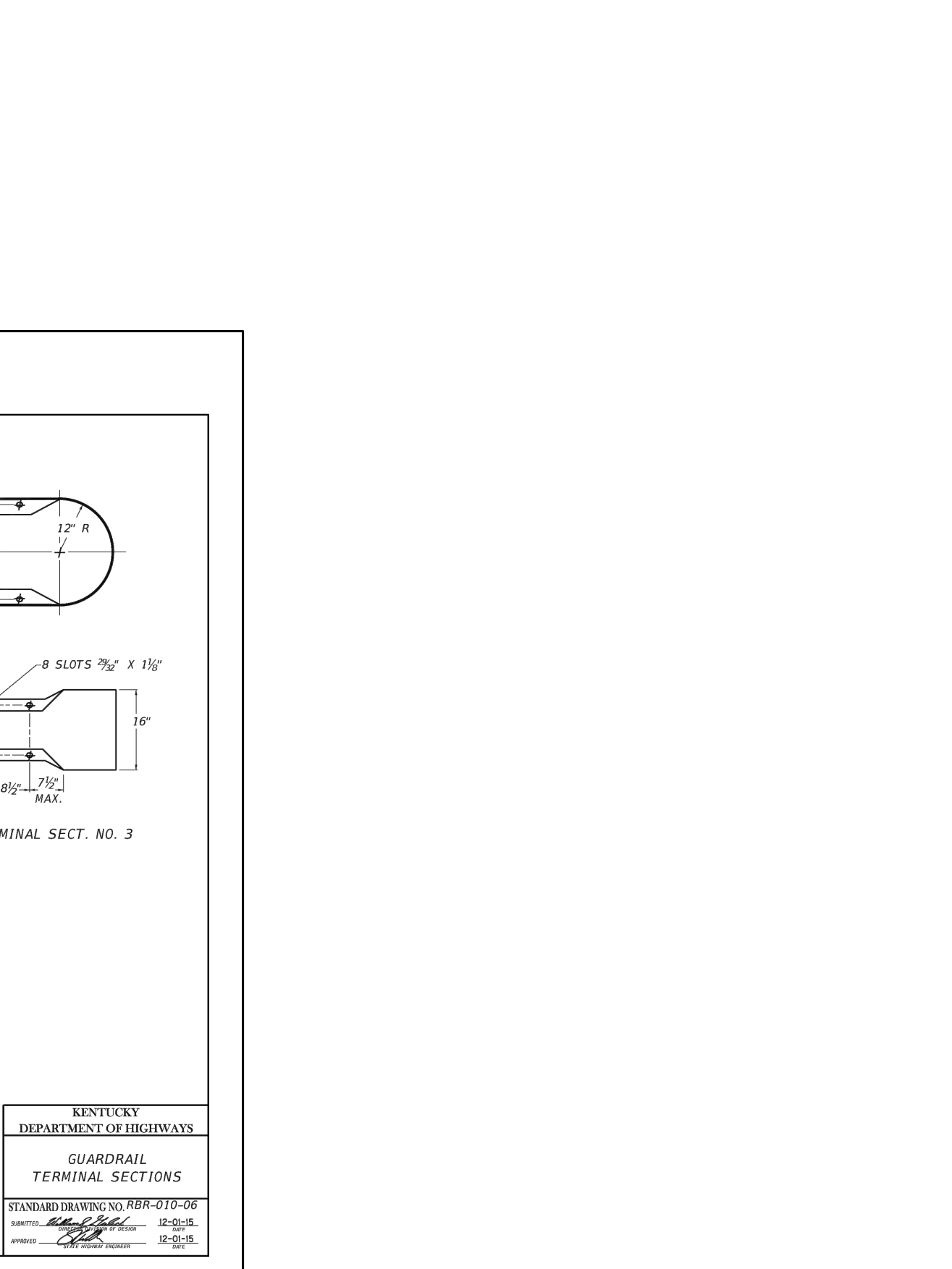
6 HANDICAP SIGN
SCALE: N.T.S.



6 HANDICAP SIGN
SCALE: N.T.S.



6 ACCESSIBLE SIGN DETAIL
SCALE: N.T.S.



8 HANDICAP RAMP DETAIL

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Item	Revision	Date	By	Chk.
1	KTYC Revision	5/3/24	CCS	JMV

TAYLOR MILL FIREHOUSE

SITE PLAN - BID SET

TAYLOR MILL, KENTON COUNTY, KY

LAYOUT DETAILS

Project No:

Checked:

Date:

Ref:

Sheet:

C601

VIOX & VIOX

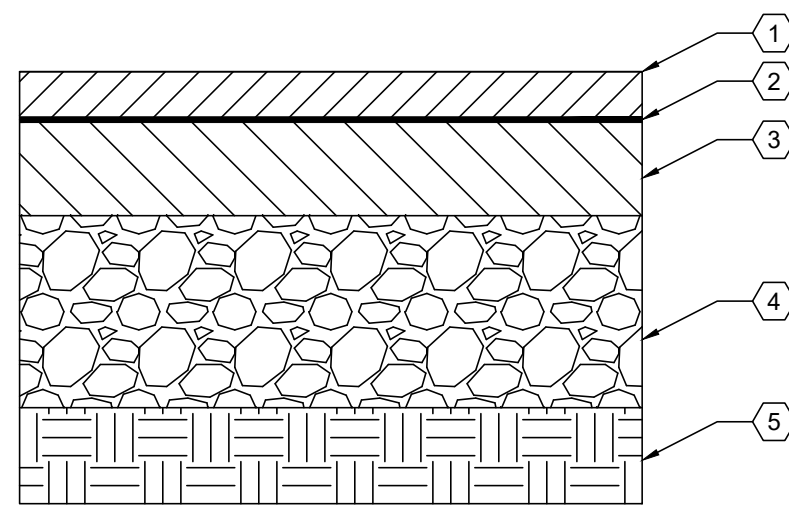
Civil Engineers, Surveyors, and Landscape Architects

406 Erlanger Road • Erlanger, Kentucky 41018

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STANDARD DUTY PAVEMENT

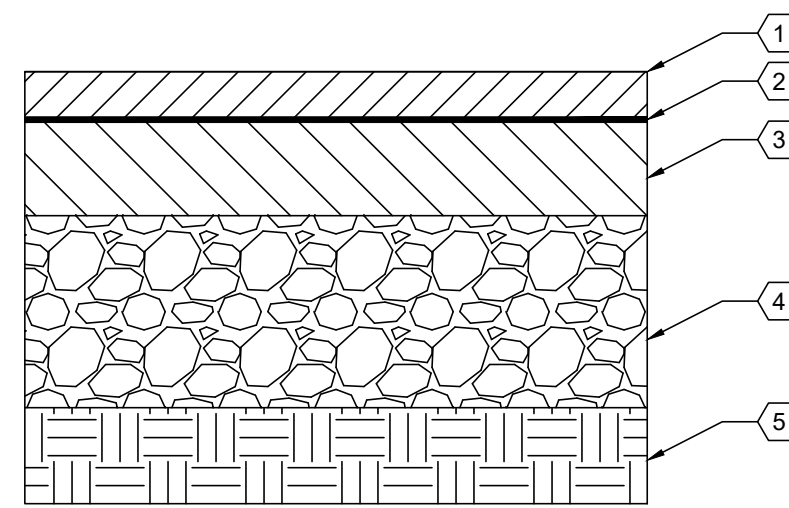
- ① 1.5" ASPHALT SURFACE
- ② SS-1H TACK COAT (OR EQUIV.) APPLIED @ 0.10 GAL/SY
- ③ 2.5" ASPHALT BASE
- ④ 6" DENSE GRADED AGGREGATE
- ⑤ SUBGRADE COMPACTION

*STANDARD PAVEMENT SECTION TO BE REVIEWED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION

STANDARD DUTY ASPHALT PAVEMENT

TYPICAL SECTION

SCALE: N.T.S.



HEAVY DUTY PAVEMENT

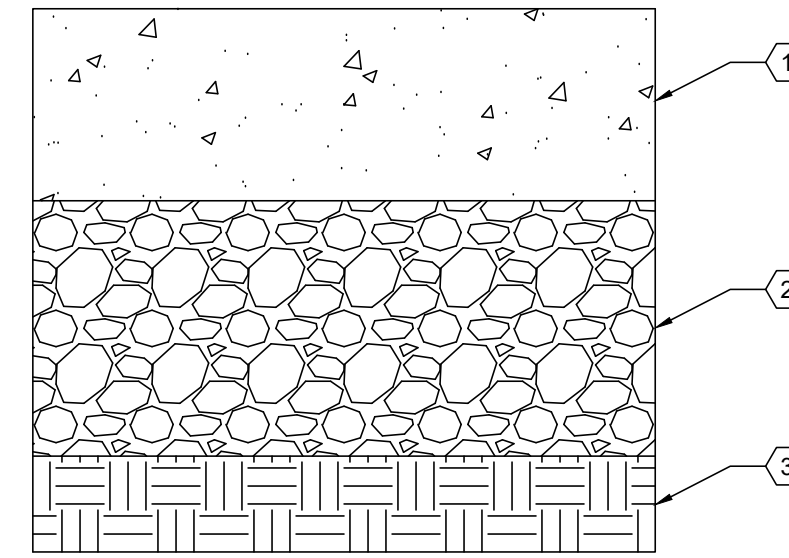
- ① 1.5" ASPHALT SURFACE
- ② SS-1H TACK COAT (OR EQUIV.) APPLIED @ 0.10 GAL/SY
- ③ 3.5" ASPHALT BASE
- ④ 8" DENSE GRADED AGGREGATE
- ⑤ SUBGRADE COMPACTION

*STANDARD PAVEMENT SECTION TO BE REVIEWED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION

HEAVY DUTY ASPHALT PAVEMENT

TYPICAL SECTION

SCALE: N.T.S.



HEAVY DUTY CONCRETE PAVEMENT

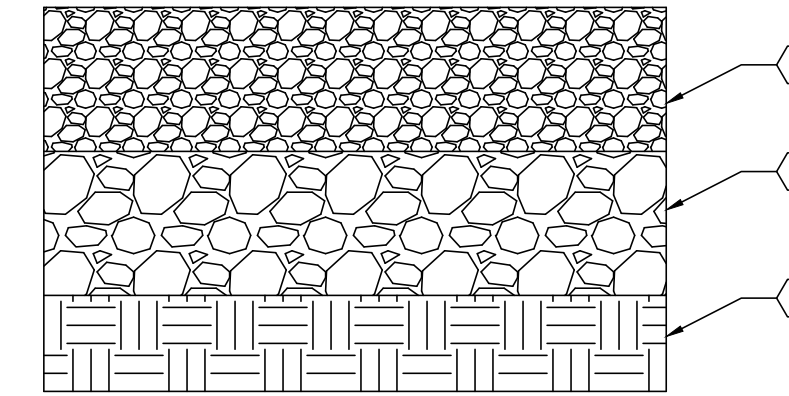
- 1 9" PORTLAND CEMENT CONCRETE, 4000 P.S.I.
- 2 4" DENSE GRADED AGGREGATE
- 3 SUBGRADE COMPACTION

*STANDARD PAVEMENT SECTION TO BE REVIEWED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION

HEAVY DUTY CONCRETE PAVEMENT

TYPICAL SECTION

SCALE: N.T.S.



GRAVEL PAVEMENT

- ① 4" DENSE GRADED AGGREGATE
- ② 4" #2 STONE
- ③ SUBGRADE COMPACTION

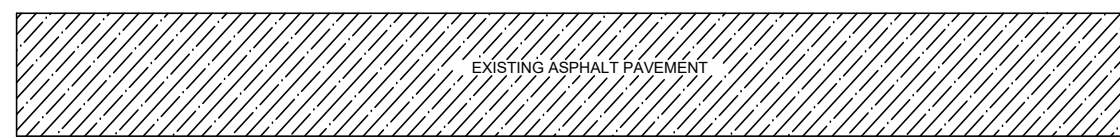
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GRAVEL PAVEMENT

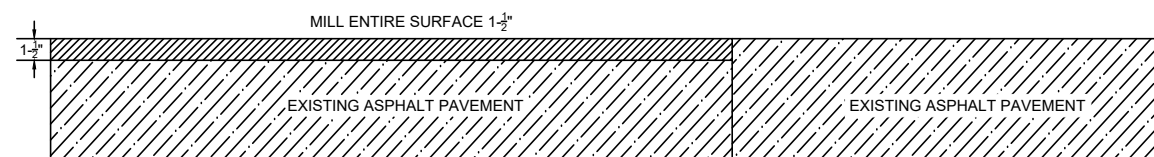
TYPICAL SECTION

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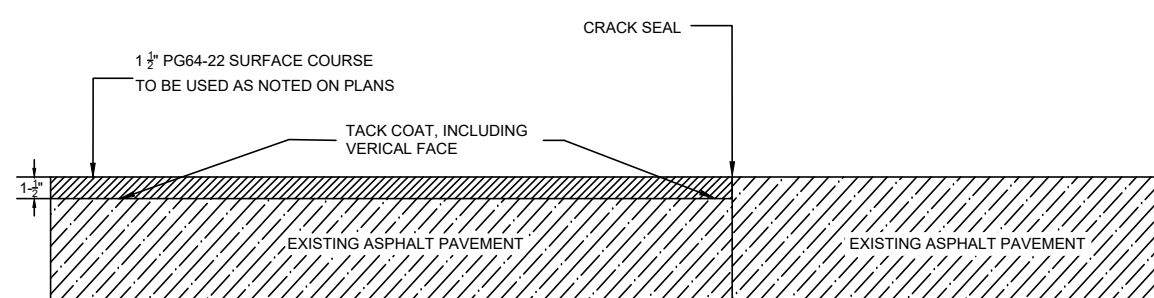
- ① EXISTING CONDITION



- ## ② MILLING DETAIL



- ### 3 PROPOSED RESURFACING



MILL & OVERLAY DETAIL

SCALE: N.T.S.

[illegible]

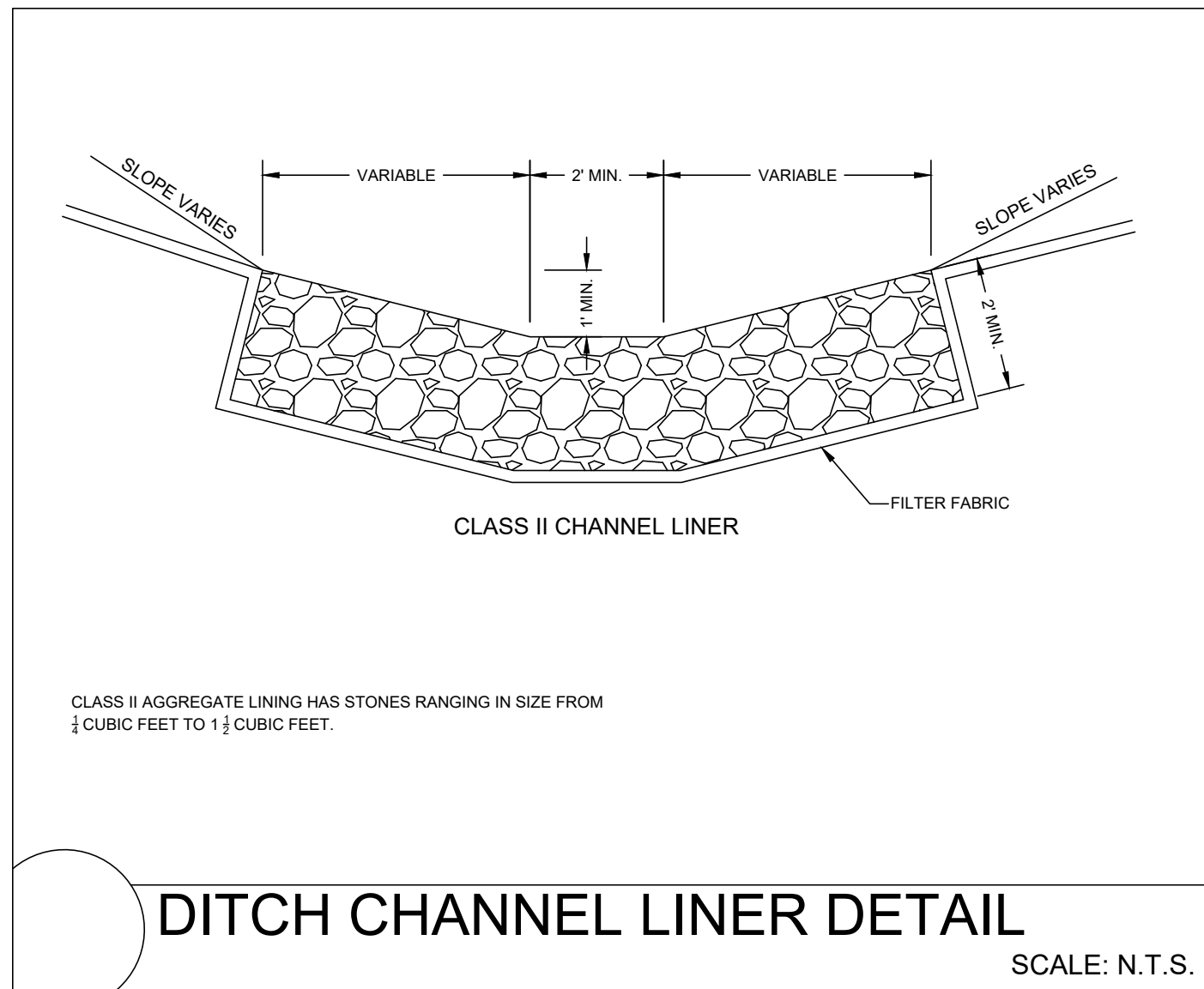
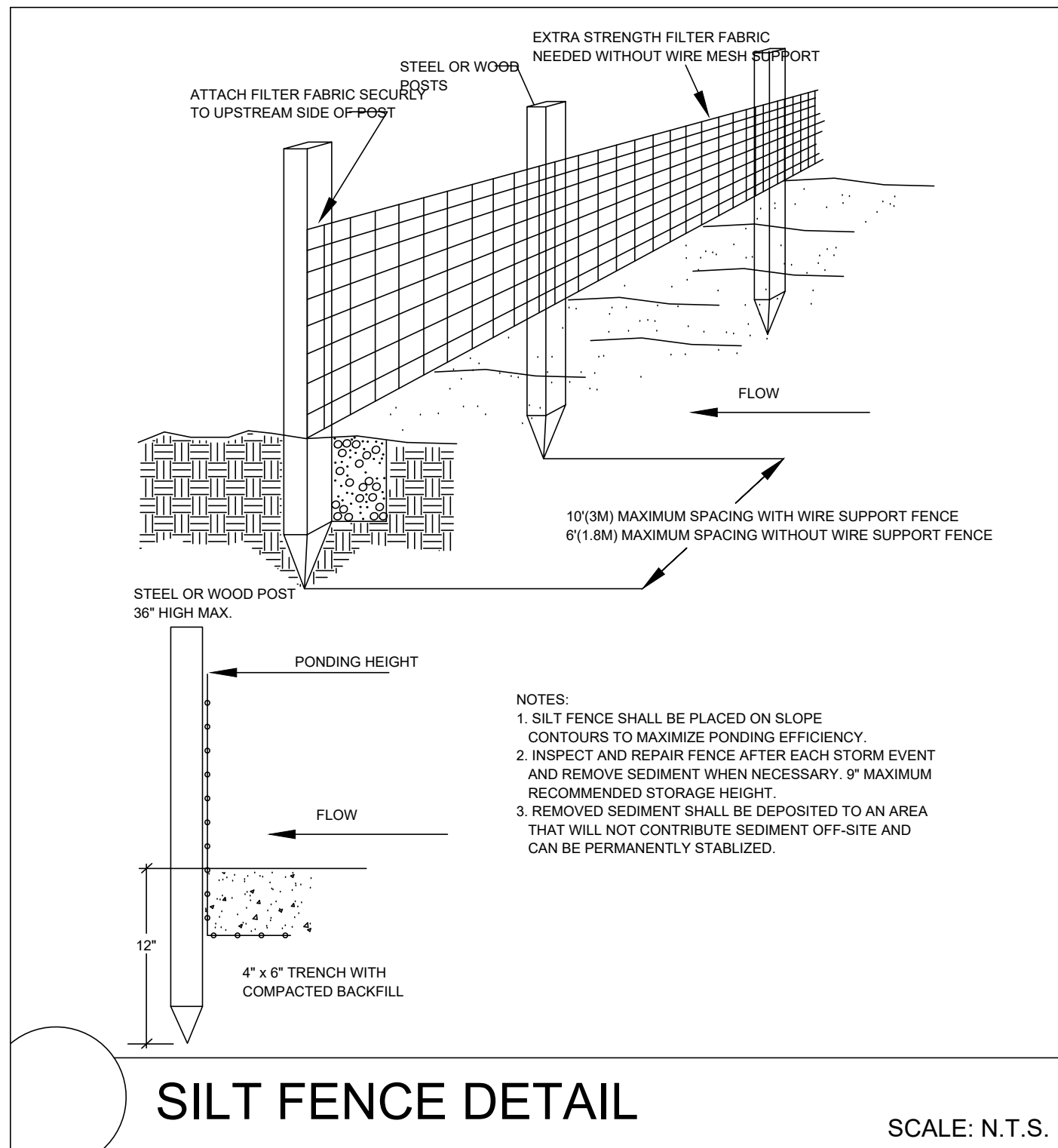
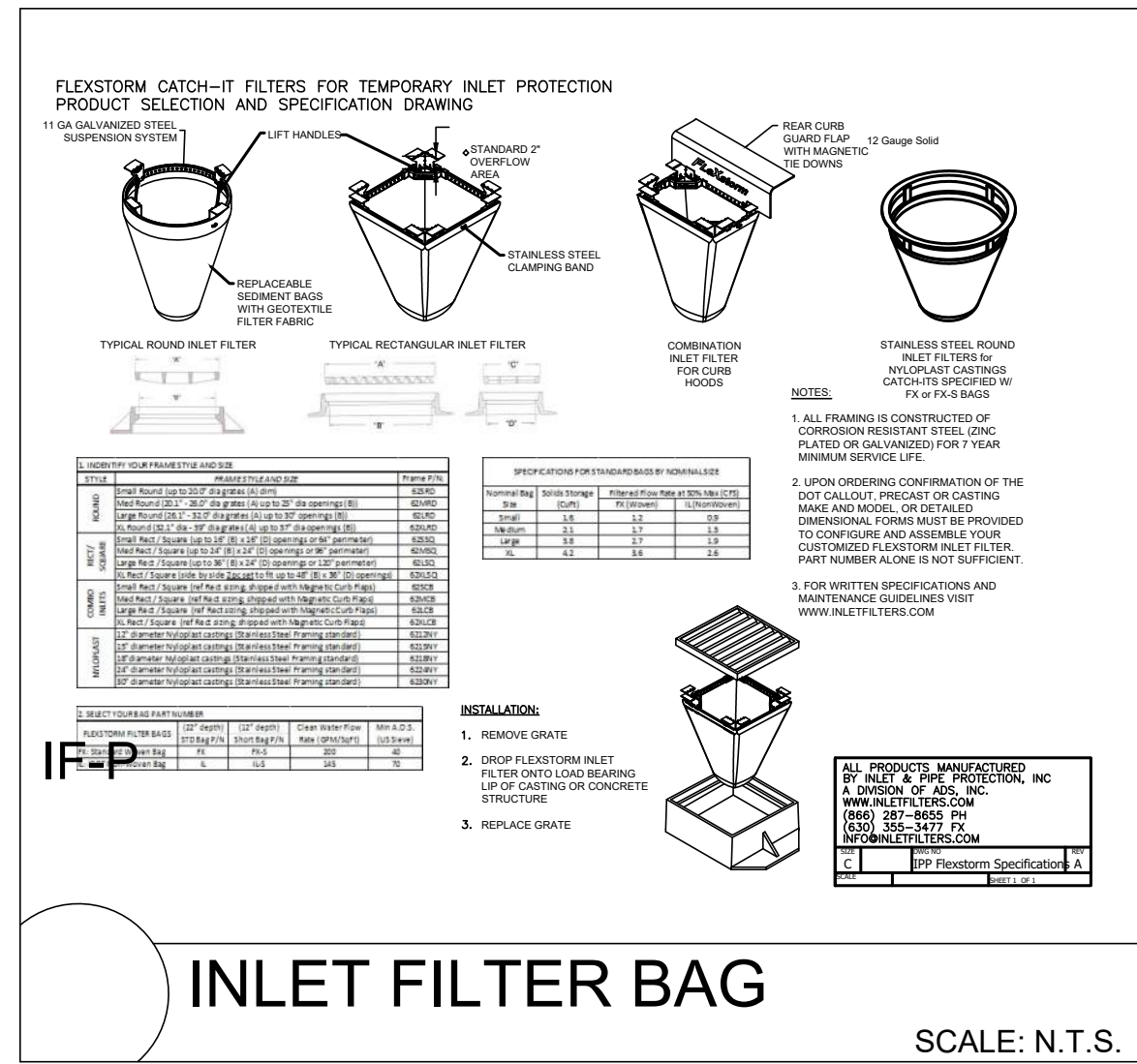
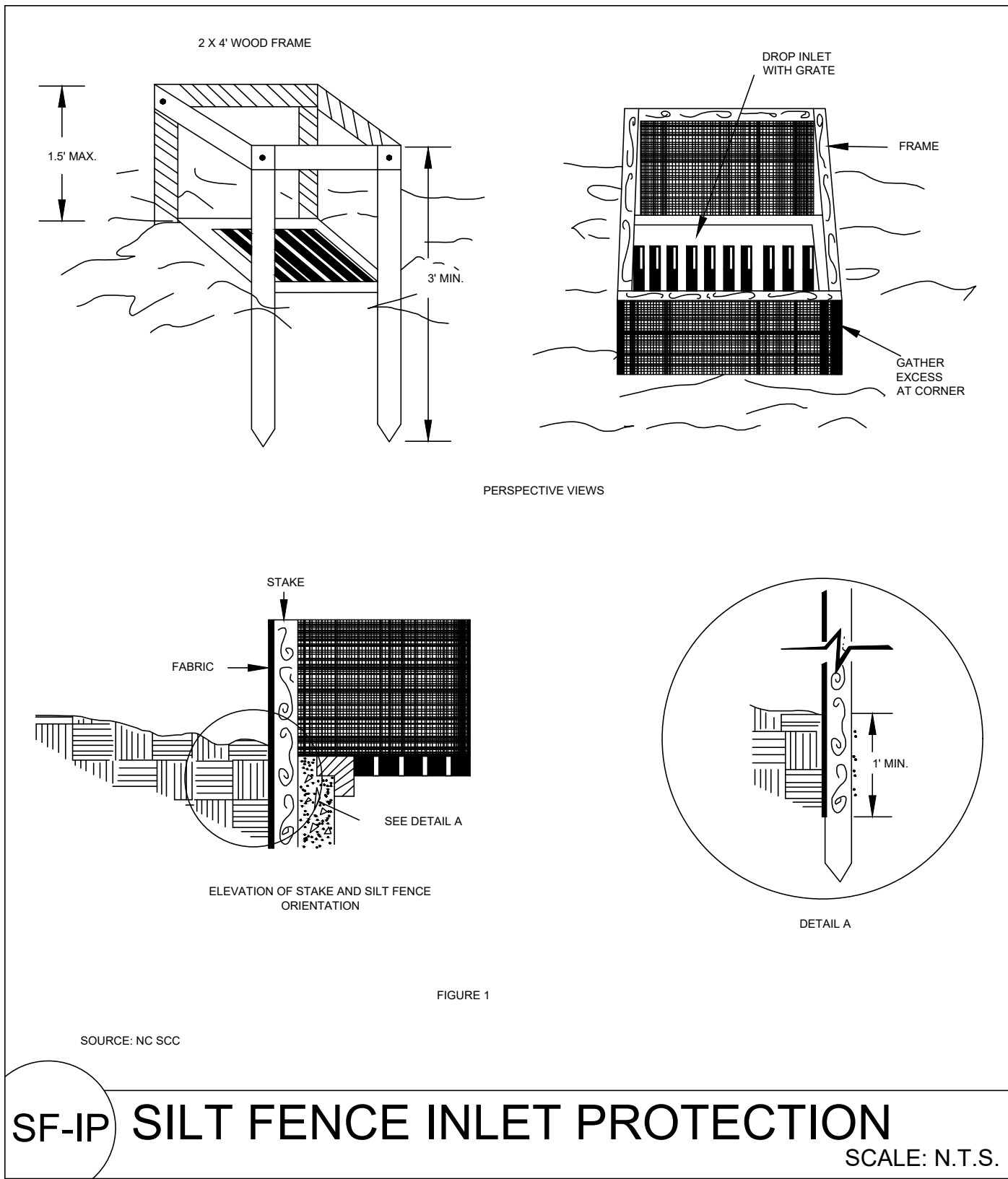
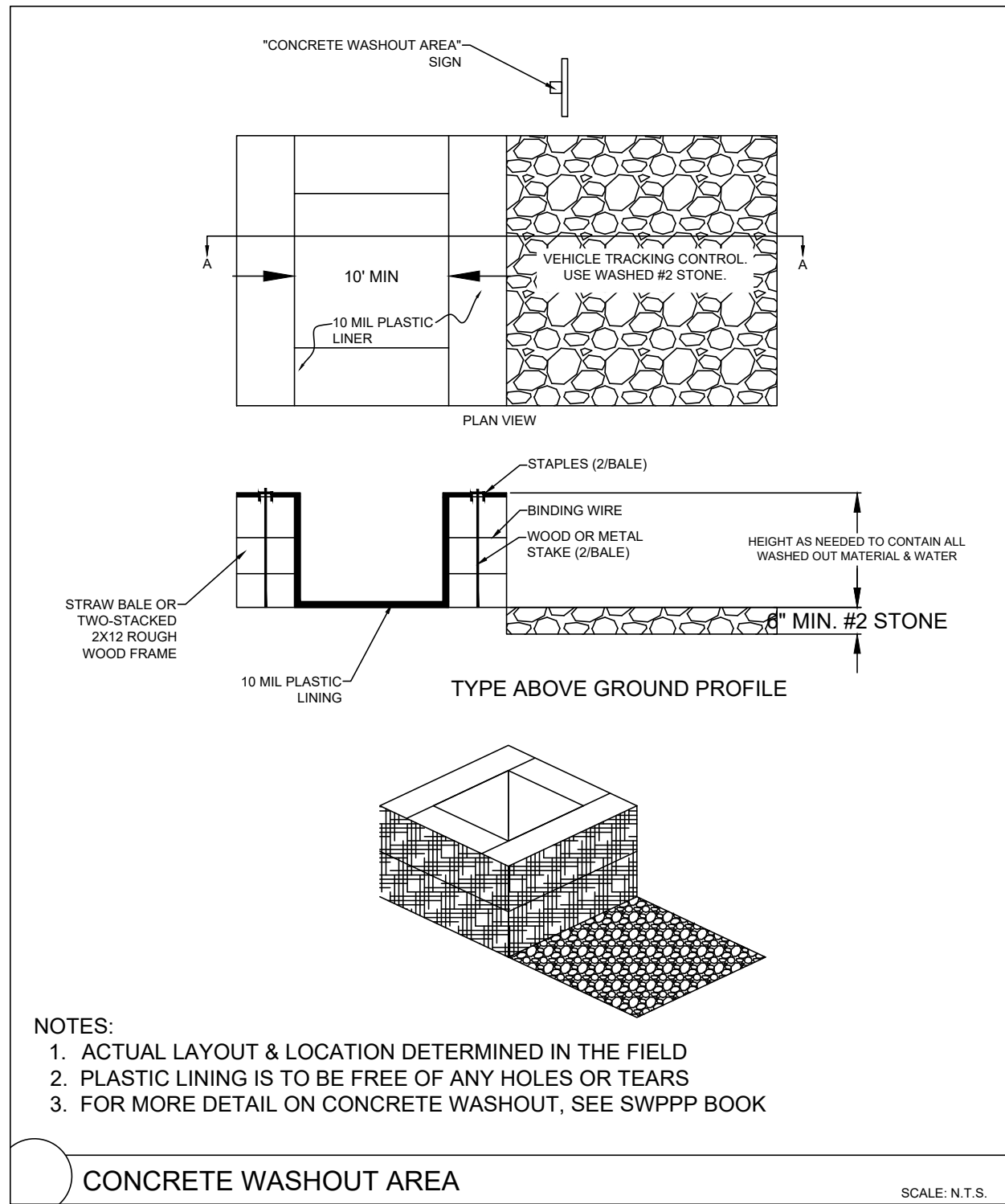
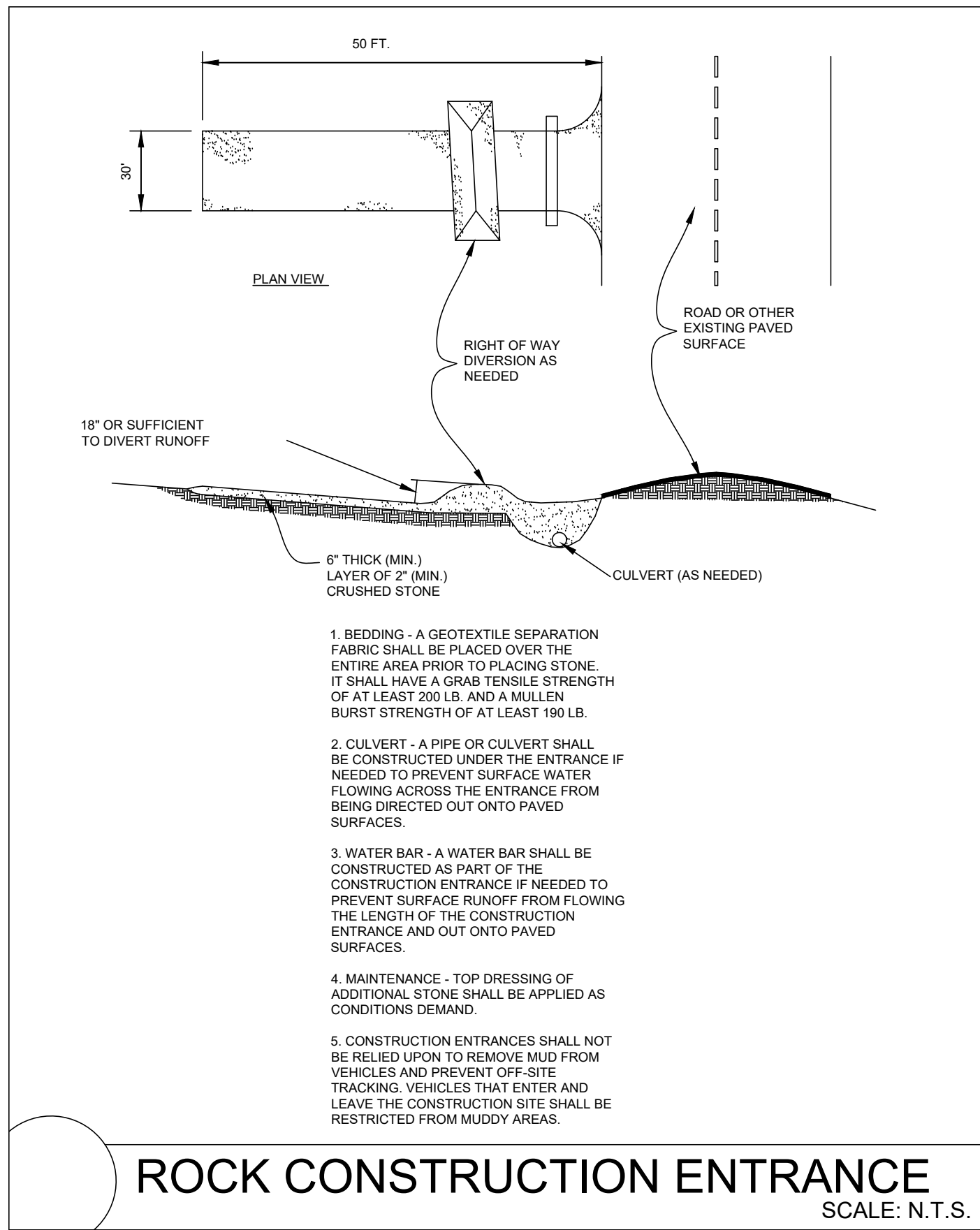
TAYLOR MILL FIREHOUSE
 SITE PLAN - BID SET
 TAYLOR MILL, KENTON COUNTY, KY

PAVEMENT DETAILS

Project No:	Checked: JMV
Date: 04.11.2024	Ref: CCS

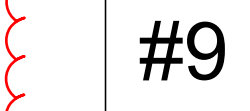
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#1

#2

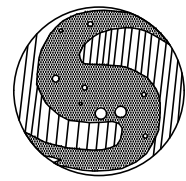


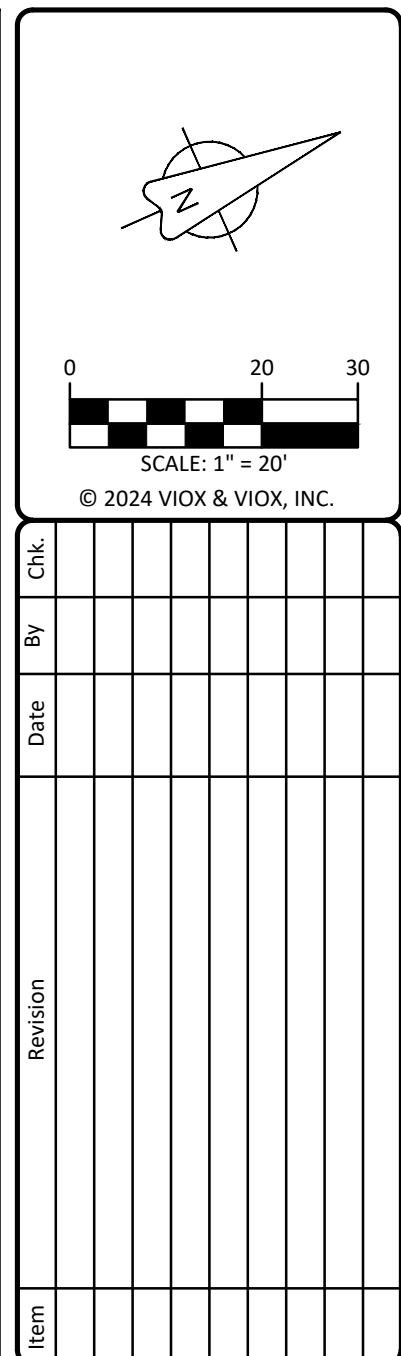
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TAYLOR MILL FIREHOUSE
SITE PLAN - BID SET
TAYLOR MILL, KENTON COUNTY, KY

Project No:	Checked: JMV
Date: 04.11.2024	Ref: CCS
Sheet: C604	





3" SHREDDED HARDWOOD MULCH OVER WEED BARRIER FABRIC

PLANT SHALL BE REMOVED FROM CONTAINER SO AS NOT TO BREAK OR DISTURB ROOT BALL AND STEM AND PLANTED AT SAME DEPTH AS GROWN IN THE CONTAINER

WELL DEFINED RECESSED BED EDGE

BACKFILL PLANTING HOLE WITH 50/50 TOPSOIL AND COMPOST BLEND

SCARIFY ROOT BALL TO PREVENT ROOT BOUND CONDITION

MIN. 4" TAMPED TOPSOIL BASE

#L2 SHRUB PLANTING DETAIL

SCALE: N.T.S.

1. MAINTENANCE OF LANDSCAPED AREAS SHOULD INCLUDE INSPECTIONS OF STORM WATER DRAINAGE ROUTES. REMOVAL OF DEBRIS BLOCKING DRAINAGE WAYS, AND/OR LOWERING MULCH/TURF BUILD-UPS MAY BE NECESSARY TO MAINTAIN PROPER DRAINAGE. CATCH BASINS SHOULD BE CLEARED OF DEBRIS TO PREVENT CLOGGING AND FLOODING. REVIEW OF PIPE FLOW SHOULD OCCUR ON A REGULAR BASIS DEPENDING UPON LOCAL CONDITIONS.